

21 January 2025

Our Ref: SYD224\_171-5 (ACCESS) RT

School Infrastructure NSW  
C/- Colliers  
**Sent via Email**

Attention: Joshua De Angelis

**ACCESSIBILITY CAPABILITY STATEMENT**  
**PROJECT NAME: MELROSE PARK HIGH SCHOOL**  
**37 HOPE STREET, MELROSE PARK**

---

## 1. INTRODUCTION

This Accessibility Capability Statement has been prepared by DC Partnership on behalf of the Department of Education (DoE) to assess the potential environmental impacts that could arise from the construction and use of the new Melrose Park High School project (the Activity) at 37 Hope Street, Melrose Park. This report supports the assessment of the proposed Activity under Part 5 of the Environmental Planning and Assessment Act 1979. The Activity is proposed by the DoE to meet the growth in educational demand in the Melrose Park precinct.

The proposed activity involves the construction and use of a new high school in two stages for approximately 1,000 students.

Stage 1 of the proposed activity includes the following:

- Site preparation works.
- Construction of Block A – a six-storey (with additional roof/plant level) school building in the south-western portion of the site containing staff rooms and General Learning Spaces (GLS).
- Construction of Block B – a one storey (double height) hall, gymnasium, canteen and covered outdoor learning area (COLA) building in the south-eastern portion of the site.
- Construction of Block C – a single storey plant and storage building at the north-eastern portion of the site.
- Associated landscaping.
- Construction of on-site car parking.
- Provision and augmentation of services infrastructure.
- Associated public domain infrastructure works to support the school, including (but not limited to):
  - Provision of kiss and drop along Wharf Road and widening of the Wharf Road footpath.
  - Raised pedestrian crossings on Wharf Road and Hope Street.

Stage 2 of the proposed activity includes the following:

- Construction of Block D – a five-storey (with additional roof/plant level) school building in the north-western portion of the site containing staff rooms and GLS:
- Additional open play spaces within the terrace areas of Building D.
- Minor layout amendments to Block A.

The Review of Environmental Factors prepared by Ethos Urban provides a full description of the proposed works.

## 2. BACKGROUND

DC Partnership has been engaged to provide building regulatory advice regarding the compliance status of the proposed development when assessed against the relevant prescriptive requirements as contained within the Building Code of Australia (BCA) 2022 – Volume 1, including the Part D4 Access for People with a Disability, Parts E3D7 and E3D8 Passenger Lifts, Parts F4D5, F4D6, F4D7 Accessible Sanitary Facilities and Part F4D12 Accessible adult change facilities as applicable to this development.

This correspondence has been provided to assist with development of the REF submission along with schematic design documentation. A broad assessment has been undertaken of the proposed design as detailed within the documentation listed in **Appendix 1**.

The advice being provided to date has been in the context of the following—

- Building Code of Australia (BCA) 2022 – Volume 1;
- AS1428.1-2009 Design for access and mobility Part 1: General requirements for access – New building work;
- AS1428.4.1-2009 Means to assist the orientation of people with a vision impairment – Tactile Ground Surface Indicators;
- AS1735.12-1999 Lifts, escalators and moving walks: Part 12 Facilities for persons with disabilities;
- AS2890.6:2009 Accessible Carparking.

#### Assessment Limitations

Our review involves all works proposed within the allotment boundary as the National Construction Code (NCC) requires compliance with the DTS provisions within the allotment only. Any public domain/out of boundary space including paths leading to the development, kiss and drop parking and connections to other parts like the playing fields are not within our scope nor fall under the NCC requirements.



### 3. ASSESSMENT

In the context of this report and the BCA the proposed building use can be described as follows—

**Table 1 – Building Classification**

STOREYS	CLASSIFICATION	DESCRIPTION
Six (6)	Class 5	School Administration
	Class 9b	Assembly buildings / School

In addition to undertaking a detailed assessment of the design against the prescriptive requirements of the BCA a preliminary performance-based assessment has also been undertaken.

The implementation of a performance-based approach in lieu of compliance with the deemed-to-satisfy (DtS) provisions of the BCA shall be disclosed to the relevant stakeholders and is subject to the approval of the certifying authority.

The **Table 2** below lists scenarios where we believe the adoption of a performance design may add value to development in-lieu of complying with the prescriptive (DtS) provisions—

**Table 2 – Performance Solutions**

ITEM	PROPOSED PERFORMANCE SOLUTION	BCA DtS CLAUSE	PERFORMANCE REQUIREMENT
1.	Security gates along an accessway that do not comply with AS1428.1	D4D3(a)	D1P1
2.	Accessway from pedestrian entrances along the allotment boundary to the new building entrances with AS1428.1 shortfalls. Steps are shown at the connection to the playing field.	D4D3(a)	D1P1 & D1P2

**Table 3** below outlines the relevant accessibility measures that will be provided as part of the development such that compliance with the BCA is achieved, specifically with Part D4 Access for People with a Disability, Parts E3D7 and E3D8 Passenger Lifts, Parts F4D5, F4D6, F4D7 Accessible Sanitary Facilities and Part F4D12 Accessible adult change facilities.

**Table 3 – Accessibility Measures**

BCA CLAUSE	STATUTORY REQUIREMENT	ASSESSMENT
<b>General building access requirements</b>  Clause D4D2	Buildings and parts of buildings must be accessible as required by this clause, unless exempted by D4D5.  <b>Class 5 and 9b</b>  Access is required to and within all areas normally used by the occupants.	Capable of compliance, Subject to design detail being developed (door schedule, internal finishes, ramp and stairway details etc.).  Refer to Appendix 2 for areas to be further detailed.
<b>Access to buildings</b>  Clause D4D3 (1)	An accessway must be provided to a building required to be accessible— a) from the main points of a pedestrian entry at the allotment boundary; and b) from another accessible building connected by a pedestrian link; and c) from any required accessible carparking space on the allotment.	There are multiple main points of a pedestrian entry along the allotment boundary. Not all will be accessible, i.e the stairs adjoining the playing fields entrance.  Gates are proposed along the required accessway that may not comply with AS1428.1 requirements.  Further details to be provided to support the Performance Solution where this is required to satisfy the Performance Requirements of the BCA.  The accessway arrangement from accessible carspaces outside of the allotment boundary to the boundary are not within our scope as we have been advised these are not required

BCA CLAUSE	STATUTORY REQUIREMENT	ASSESSMENT
		<p>carspaces therefore are not mandated under the BCA. This is subject to further clarification.</p> <p>Refer to Appendix 2 markups for areas to be further detailed.</p>
<b>Access to buildings</b> Clause D4D3 (2)	<p>In a building required to be accessible, an accessway must be provided through the principal pedestrian entrance, and—</p> <ol style="list-style-type: none"> <li>through not less than 50% of all pedestrian entrances including the principal pedestrian entrance; and</li> <li>in a building with a total floor area more than 500 m<sup>2</sup>, a pedestrian entrance which is not accessible must not be located more than 50 m from an accessible pedestrian entrance,</li> </ol> <p>except for pedestrian entrances serving only areas exempted by D4D5.</p>	<p>Each entrance into the proposed buildings are to be accessible at Ground Floor. Two lifts are provided to access the upper levels within Block A entrance doors. These lift will also serve Stage 2 Block C.</p> <p>Further details to be provided with detailed design documentation.</p>
<b>Access to buildings</b> Clause D4D3 (3)	<p>Where a pedestrian entrance required to be accessible has multiple doorways—</p> <ol style="list-style-type: none"> <li>if the pedestrian entrance consists of not more than 3 doorways — not less than 1 of those doorways must be accessible; and</li> <li>if a pedestrian entrance consists of more than 3 doorways — not less than 50% of those doorways must be accessible.</li> </ol>	Not Applicable
<b>Access to buildings</b> Clause D4D3 (4)	<p>For the purposes of Clause D4D3 (3), an accessible pedestrian entrance with multiple doorways is considered to be one pedestrian entrance where—</p> <ol style="list-style-type: none"> <li>all doorways serve the same part or parts of the building; and</li> <li>the distance between each doorway is not more than the width of the widest doorway at that pedestrian entrance (see Figure D4D3); and</li> </ol> <p>For the purposes of Clause D4D3 (3), a doorway is considered to be the clear, unobstructed opening created by the opening of one or more door leaves (see Figure D4D3).</p>	Not Applicable
<b>Access to buildings</b> Clause D4D3 (5)	<p>Where a doorway on an accessway has multiple leaves, (except an automatic opening door) one of those leaves must have a clear opening width of not less than 850 mm in accordance with AS 1428.1.</p>	<p>Not Applicable</p> <p>Typically all doors will be shown as single leaf and are to have a minimum 850mm clear width door opening. Where double leaves shown, the active leaf is to be minimum 850mm clear width.</p>
<b>Parts of building to be accessible</b> Clause D4D4 (a)	<p>In a building required to be accessible, every ramp and stairway, except for ramps and stairways in areas exempted by D4D5, must comply with—</p> <ol style="list-style-type: none"> <li>for a ramp, except a fire-isolated ramp, clause 10 of AS 1428.1; and</li> </ol>	<p>Stairs and ramps along the required accessways to the new Buildings and along accessible path of travel are to comply with AS1428.1.</p> <p>Detailed design documentation to shown gradients to meet AS1428.1.</p>

BCA CLAUSE	STATUTORY REQUIREMENT	ASSESSMENT
	b) for a stairway, except a fire-isolated stairway, clause 11 of AS 1428.1; and c) for a fire-isolated stairway, clause 11.1(f) and (g) of AS 1428.1.	
<b>Parts of building to be accessible</b> Clause D4D4 (b)	In a building required to be accessible, every passenger lift must comply with E3D7 and E3D8.	(refer to <b>Passenger Lifts</b> section below)
<b>Parts of building to be accessible</b> Clause D4D4 (c)	In a building required to be accessible, accessways must have— a) passing spaces complying with AS 1428.1 at maximum 20 m intervals on those parts of an accessway where a direct line of sight is not available; and b) turning spaces complying with AS 1428.1— i. within 2 m of the end of accessways where it is not possible to continue travelling along the accessway; and ii. at maximum 20 m intervals along the accessway.	The buildings are capable of compliance with this clause.  Detailed furniture layout with heavy fixed pieces should consider these requirements.
<b>Parts of building to be accessible</b> Clause D4D4 (f)	In a building required to be accessible, a ramp complying with AS 1428.1 or a passenger lift need not be provided to serve a storey or level other than the entrance storey in a Class 5, 6, 7b or 8 building— a) containing not more than 3 storeys; and b) with a floor area for each storey, excluding the entrance storey, of not more than 200 m <sup>2</sup>	Not Applicable.
<b>Exemptions</b> Clause D4D5	The following areas are not required to be accessible: a) An area where access would be inappropriate because of the particular purpose for which the area is used. b) An area that would pose a health or safety risk for people with a disability. c) Any path of travel providing access only to an area exempted by (a) or (b).  The following rooms / areas and associated accessways have been afforded the concession under D4D5 based on the health or safety risk and therefore access for people with disabilities need not be provided to these areas – a) Plant and equipment rooms; b) Servers meters; c) Cleaners rooms; d) Some storage rooms etc.	Written confirmation at CC stage required from client confirming areas to be considered under D4D5 exemptions.

BCA CLAUSE	STATUTORY REQUIREMENT	ASSESSMENT
<b>Accessible carparking</b> Clause D4D6 (1)	<p>Accessible carparking spaces—</p> <ul style="list-style-type: none"> <li>a) subject to (b), must be provided in accordance with Clause D4D6 (2) in—               <ul style="list-style-type: none"> <li>i. a Class 7a building required to be accessible; and</li> <li>ii. a carparking area on the same allotment as a building required to be accessible; and</li> </ul> </li> <li>b) need not be provided in a Class 7a building or a carparking area where a parking service is provided and direct access to any of the carparking spaces is not available to the public; and</li> <li>c) subject to (d), must comply with AS/NZS 2890.6; and</li> <li>d) need not be identified with signage where there is a total of not more than 5 carparking spaces, so as to restrict the use of the carparking space only for people with a disability.</li> </ul> <p>For each Class of building to which the carpark or carparking area is associated, the number of accessible carparking spaces required is as follows:</p> <p><b>Class 9b</b></p> <p>For a school — 1 accessible space for every 100 carparking spaces or part thereof.</p>	<p>There is one (1) accessible carspace identified within the carpark, within the boundary.</p> <p>Accessible Kiss and Ride spaces outside of the boundary do not fall under the BCA requirements as we have been advised these are additional spaces above Planning requirements. To be confirmed during the design and approval phase.</p>
<b>Signage</b> Clause D4D7 and Specification 15	<p>Signage in accordance with this clause and details within AS1428.1 are to be provided to identify sanitary facilities, hearing augmentation, non-accessible pedestrian entrances, directional signage and exit levels, where applicable.</p>	<p>The building is capable of achieving compliance with this clause.</p> <p>Signage package to be submitted with detailed design documentation in accordance with this clause, Specification 15 and AS1428.1.</p>
<b>Hearing Augmentation</b> Clause D4D8	<p>As design progresses, consideration shall be given to the hearing augmentation provisions.</p> <p>A hearing augmentation system must be provided where an inbuilt amplification system, other than one used only for emergency warning, is installed—</p> <ul style="list-style-type: none"> <li>a) in a room in a Class 9b building; or</li> <li>b) in an auditorium, conference room, meeting room or room for judicatory purposes; or</li> <li>c) at any ticket office, teller's booth, reception area or the like, where the public is screened from the service provider.</li> </ul>	<p>Where any AV is installed, compliance to be achieved with this clause. This may include a combined PA/ EWIS system that serves all Class 9b parts.</p> <p>Confirmation of any inbuilt amplification system proposed to the new buildings to be confirmed in due course.</p>
<b>Tactile indicators</b> Clause D4D9 (1)	<p>For a building required to be accessible, tactile ground surface indicators must be provided to warn people who are blind or have a vision impairment that they are approaching—</p>	<p>Further details of tactile indicators to be submitted with detailed design documentation in accordance with this clause.</p>

BCA CLAUSE	STATUTORY REQUIREMENT	ASSESSMENT
	<ul style="list-style-type: none"> <li>a) a stairway, other than a fire-isolated stairway; and</li> <li>b) a ramp other than a fire-isolated ramp, step ramp, kerb ramp or swimming pool ramp; and</li> <li>c) in the absence of a suitable barrier— <ul style="list-style-type: none"> <li>i. an overhead obstruction less than 2 m above floor level, other than a doorway; and</li> <li>ii. an accessway meeting a vehicular way adjacent to any pedestrian entrance to a building, excluding a pedestrian entrance serving an area referred to in D4D5, if there is no kerb or kerb ramp at that point,</li> </ul> </li> </ul> <p>except for areas exempted by D4D5.</p>	
<b>Tactile indicators</b> Clause D4D9 (2)	Tactile ground surface indicators required by (1) must comply with sections 1 and 2 of AS/NZS 1428.4.1.	The building is capable of achieving compliance with this clause.
<b>Ramps</b> Clause D4D12	On an accessway— <ul style="list-style-type: none"> <li>a) a series of connected ramps must not have a combined vertical rise of more than 3.6 m; and</li> <li>b) a landing for a step ramp must not overlap a landing for another step ramp or ramp.</li> </ul>	The building is capable of achieving compliance with this clause.
<b>Glazing on accessways</b> Clause D4D13	On an accessway, where there is no chair rail, handrail or transom, all frameless or fully glazed doors, sidelights and any glazing capable of being mistaken for a doorway or opening, must be clearly marked in accordance with AS 1428.1.	Further details of glazing decals to be submitted with detailed design documentation in accordance with this clause.
<b>Passenger lifts</b> Clause E3D7 & E3D8	Lifts to be designed and installed in accordance with E3D7 and E3D8 of the BCA and AS1735.12.	The building is capable of achieving compliance with this clause.  Lift car details and specifications to be submitted with detailed design documentation in accordance with this clause.
<b>Accessible sanitary facilities</b> Clause F4D5	In a building required to be accessible— <ul style="list-style-type: none"> <li>a) accessible unisex sanitary compartments must be provided in accessible parts of the building in accordance with F4D6; and</li> <li>b) accessible unisex showers must be provided in accordance with F4D7; and</li> <li>c) an accessible unisex sanitary compartment must contain a closet pan, washbasin, shelf or bench top and adequate means of disposal of sanitary products; and</li> <li>d) the circulation spaces, fixtures and fittings of all accessible sanitary facilities provided in accordance with F4D6 and</li> </ul>	Detailed floor plans to be provided when available for our assessment.  Refer to Appendix 2 markups for areas to be further detailed.

BCA CLAUSE	STATUTORY REQUIREMENT	ASSESSMENT
	<p>F4D7 must comply with the requirements of AS 1428.1; and</p> <p>e) an accessible unisex sanitary facility must be located so that it can be entered without crossing an area reserved for one sex only; and</p> <p>f) where two or more of each type of accessible unisex sanitary facility are provided, the number of left and right-handed mirror image facilities must be provided as evenly as possible; and</p> <p>g) where male sanitary facilities are provided at a separate location to female sanitary facilities, accessible unisex sanitary facilities are only required at one of those locations; and</p> <p>h) an accessible unisex sanitary compartment or an accessible unisex shower need not be provided on a storey or level that is not required by D4D4(f) to be provided with a passenger lift or ramp complying with AS 1428.1.</p>	
<b>Accessible unisex sanitary compartments</b> Clause F4D6	<p>Where required by F4D5(a), the minimum number of accessible unisex sanitary compartments for each class of building is as follows:</p> <p><b>Class 9</b></p> <p>a) 1 on every storey containing sanitary compartments; and</p> <p>b) where a storey has more than 1 bank of sanitary compartments containing male and female sanitary compartments, at not less than 50% of those banks.</p>	<p>Students and staff can not share the same sanitary facilities.</p> <p>Detailed design drawings to show sanitary amenities for our review.</p> <p>Refer to markups for areas to be amended.</p>
<b>Accessible unisex showers</b> Clause F4D7	<p>Where required by F4D5(b), the minimum number of accessible unisex showers for each class of building is as follows:</p> <p><b>Class 5/ 9</b></p> <p>Where F4D4 requires 1 or more showers, not less than 1 for every 10 showers or part thereof.</p>	<p>Not Applicable</p> <p>Where facilities provided within detailed documents, these above minimum facilities will be reviewed from a DDA perspective.</p>
<b>Ambulant sanitary facilities</b> Clause F4D5 (c)	<p>At each bank of toilets where there is one or more toilets in addition to an accessible unisex sanitary compartment at that bank of toilets, not less than one sanitary compartment suitable for a person with an ambulant disability for use by males and one sanitary compartment suitable for a person with an ambulant disability for use by females, must be provided.</p> <p>Ambulant sanitary facilities shall be designed in accordance with Clause 16 of AS1428.1.</p>	<p>Refer to markups – amendments required.</p>
<b>Accessible adult change facilities</b> Clause F4D12 (1)	<p>One unisex accessible adult change facility must be provided in an accessible part of a—</p> <p>a) Class 6 building that is a shopping centre having a design occupancy of not less than</p>	<p>Accessible adult change facilities are not required under the BCA.</p>

BCA CLAUSE	STATUTORY REQUIREMENT	ASSESSMENT
	<p>3,500 people, calculated on the basis of the floor area and containing a minimum of 2 sole-occupancy units; and</p> <p>b) Class 9b sports venue or the like that—</p> <p>i. has a design occupancy of not less than 35,000 spectators; or</p> <p>ii. contains a swimming pool that has a perimeter of not less than 70 m and that is required by D4D2 to be accessible; and</p> <p>c) museum, art gallery or the like having a design occupancy of not less than 1,500 patrons; and</p> <p>d) theatre or the like having a design occupancy of not less than 1,500 patrons; and</p> <p>e) passenger use area of an airport terminal building within an airport that accepts domestic and/or international flights that are public transport services as defined in the Disability Standards for Accessible Public Transport 2002.</p>	
<p><b>Accessible adult change facilities</b></p> <p>Clause F4D12 (2)</p>	<p>Accessible adult change facilities required by Clause F4D12 (1)—</p> <p>a) must be constructed in accordance with Specification 27; and</p> <p>b) cannot be combined with another sanitary compartment.</p>	<p>As adult change facilities are not required, any deviations from the DtS Provisions should be considered by SINSW for acceptance.</p>

#### 4. SUMMARY

Based upon the information contained in the above tables, it can determine that the proposed development within Stages 1 and 2 are capable of achieving compliance with the relevant accessibility provisions of the BCA, subject to the comments provided above being incorporated into the design.

Compliance can be achieved either by meeting the deemed-to-satisfy requirements of the BCA, as are principally contained within Part D4 Access for People with a Disability, Parts E3D7 and E3D8 Passenger Lifts, Parts F4D5, F4D6, F4D7 Accessible Sanitary Facilities and Part F4D12 Accessible adult change facilities, or via a performance-based approach. The potential Performance Solution items may be seen as Mitigation Measures within the subject REF Submission and therefore have been summarised in Table 4 below.

**Table 4 – Mitigation Measures**

PROJECT STAGE DESIGN (D) CONSTRUCTION (C) OPERATION (O)	MITIGATION MEASURES	RELEVANT SECTION OF REPORT
D / C / O	Security gates along an accessway that do not comply with AS1428.1 will require a Performance Solution to satisfy the NCC Performance Requirements.	D4D3(a)
D / C / O	Accessway from pedestrian entrances along the allotment boundary to the new building entrances with AS1428.1 shortfalls. Steps are shown at the connection to the playing field.  The proponent shall work with the landowner of Wharf Road Gardens to ensure that an accessible accessway compliant with AS1428.1 is provided from the allotment boundary to the all new Building principle pedestrian entrances, which may be subject to a separate planning application.	D4D3(a)
D / C / O	The number of carparking spaces are dictated by Planning requirements. Where carparking spaces are outside of the allotment boundary, and discrepancies with the number of accessible parking spaces to satisfy the BCA requirements, a Performance Solution may be sought where suitable justification is available.	D4D6 (1)
D	Prior to commencement of works, compliance with the applicable accessibility requirements is to be demonstrated in accordance with this Accessibility Statement.	NOTE

We trust that the above information is sufficient for the consent authority in assessing the merit of the architectural design from a planning perspective.

This statement should not be construed as relieving any other parties of their legislative or contractual obligations.

Kind regards,

Report by



Rachael Telling  
**Accessibility Consultant**  
For DC Partnership Pty Ltd

Verified By



John La Scala  
**Principal | Accessibility**  
For DC Partnership Pty Ltd



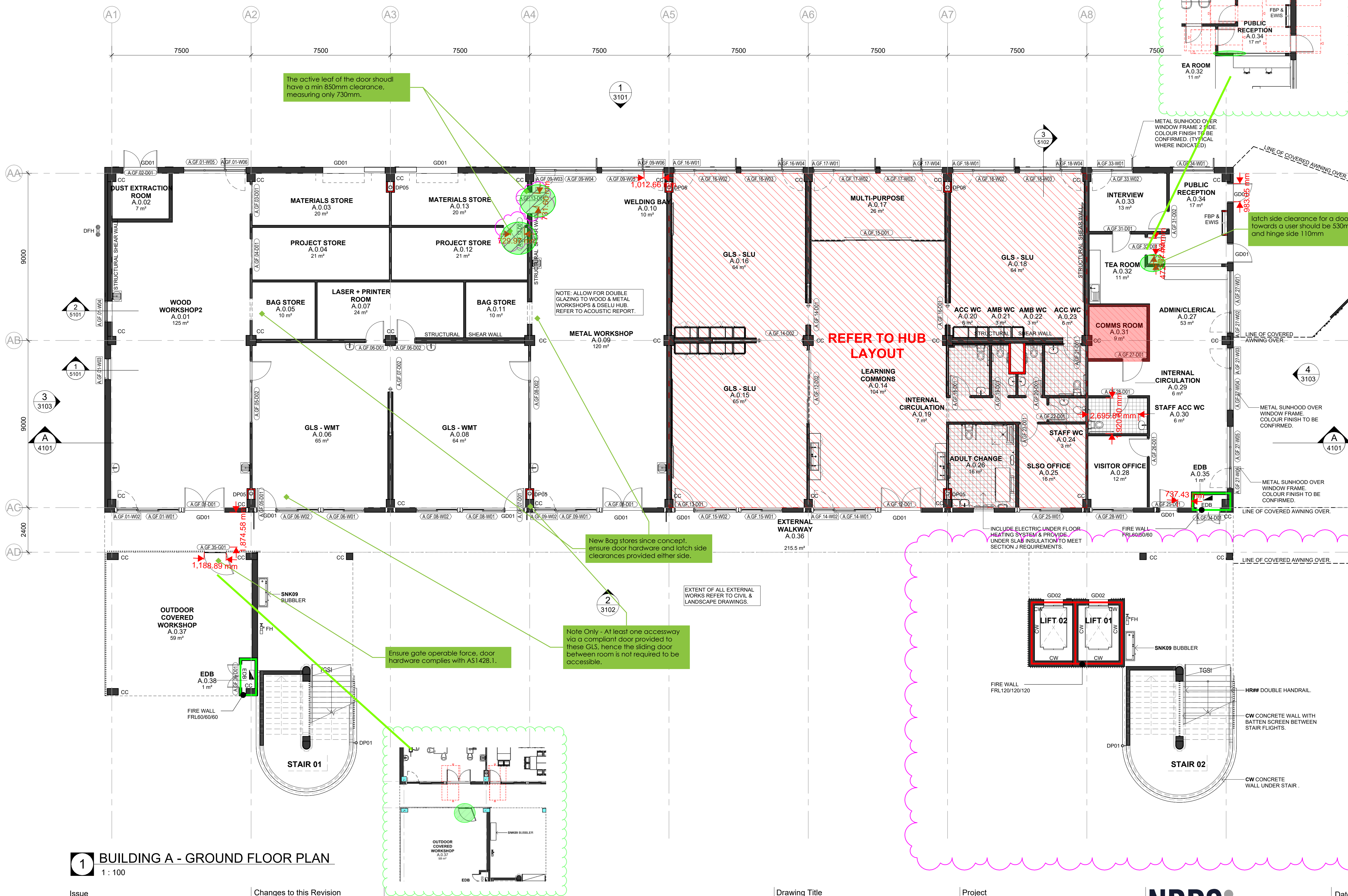
## APPENDIX 1 – DOCUMENTATION PROVIDED FOR ASSESSMENT

This accessibility assessment was based upon the Schematic WIP architectural documentation prepared by NBRS namely—

DRAWING NUMBER	REV	DRAWING TITLE	DATE
MPHS-NBRS-ZZ-ZZ-DR-A-0001	6	COVER & DRAWING LIST	25.11.2024
MPHS-NBRS-ZZ-ZZ-DR-A-0200	14	SITE PLAN (STAGE 1)	25.11.2024
MPHS-NBRS-ZZ-ZZ-DR-A-0201	14	SITE PLAN (STAGE 2)	25.11.2024
MPHS-NBRS-ZZ-ZZ-DR-A-0501	1	STAGING PLAN	25.11.2024
MPHA-NBRS-B00A-GF-DR-A-1001	5	BUILDING A - GROUND FLOOR PLAN	25.11.2024
MPHA-NBRS-B00A-GF-DR-A-1201	5	BUILDING A - GROUND FLOOR FURNITURE PLAN	25.11.2024
MPHA-NBRS-B00A-L1-DR-A-1002	4	BUILDING A – LEVEL 1 PLAN	25.11.2024
MPHA-NBRS-B00A-L1-DR-A-1202	3	BUILDING A – LEVEL 1 FURNITURE PLAN	25.11.2024
MPHA-NBRS-B00A-L2-DR-A-1003	4	BUILDING A – LEVEL 2 PLAN STAGE 1	25.11.2024
MPHA-NBRS-B00A-L2-DR-A-1203	3	BUILDING A – LEVEL 2 FURNITURE PLAN STAGE 1	25.11.2024
MPHA-NBRS-B00A-L3-DR-A-1005	4	BUILDING A – LEVEL 3 PLAN STAGE 1	25.11.2024
MPHA-NBRS-B00A-L3-DR-A-1205	3	BUILDING A – LEVEL 3 FURNITURE PLAN STAGE 1	25.11.2024
MPHA-NBRS-B00A-L4-DR-A-1007	4	BUILDING A – LEVEL 4 PLAN STAGE 1	25.11.2024
MPHA-NBRS-B00A-L4-DR-A-1207	3	BUILDING A – LEVEL 4 FURNITURE PLAN	25.11.2024
MPHA-NBRS-B00A-L5-DR-A-1008	4	BUILDING A – LEVEL 5 PLAN	25.11.2024
MPHA-NBRS-B00A-L5-DR-A-1208	3	BUILDING A – LEVEL 5 FURNITURE PLAN	25.11.2024
MPHS-NBRS-B00A-ZZ-DR-A-3101	6	BUILDING A ELEVATIONS 1	25.11.2024
MPHS-NBRS-B00A-ZZ-DR-A-3102	6	BUILDING A ELEVATIONS 2	25.11.2024
MPHA-NBRS-B00B-GF-DR-A-1011	6	BUILDING B – GROUND FLOOR PLAN	25.11.2024
MPHA-NBRS-B00B-GF-DR-A-1211	5	BUILDING B – GROUND FLOOR FURNITURE PLAN	25.11.2024
MPHA-NBRS-B00C-GF-DR-A-1600	5	BUILDING C	25.11.2024
MPHA-NBRS-B00D-GF-DR-A-1601	2	BUILDING D	25.11.2024
MPHA-NBRS-B00E-GF-DR-A-1602	2	BUILDING E	25.11.2024
MPHS-NBRS-ZZ-DR-A-0202	15	OVERALL GROUND PLAN (STAGE 1)	25.11.2024

MPHS-NBRS-L1-ZZ-DR-A-0203	14	OVERALL LEVEL 1 PLAN (STAGE 1)	25.11.2024
MPHS-NBRS-L2-ZZ-DR-A-0204	14	OVERALL LEVEL 2 PLAN (STAGE 1)	25.11.2024
MPHS-NBRS-L3-ZZ-DR-A-0205	14	OVERALL LEVEL 3 PLAN (STAGE 1)	25.11.2024
MPHS-NBRS-L4-ZZ-DR-A-0206	15	OVERALL LEVEL 4 PLAN (STAGE 1)	25.11.2024
MPHS-NBRS-L5-ZZ-DR-A-0207	14	OVERALL LEVEL 5 PLAN (STAGE 1)	25.11.2024
MPHS-NBRS-RF-ZZ-DR-A-0208	14	OVERALL ROOF PLAN (STAGE 1)	25.11.2024
MPHS-NBRS-ZZ-DR-A-0211	15	OVERALL GROUND FLOOR PLAN (STAGE 2)	25.11.2024
MPHS-NBRS-L1-ZZ-DR-A-0212	14	OVERALL LEVEL 1 PLAN (STAGE 2)	25.11.2024
MPHS-NBRS-L2-ZZ-DR-A-0213	14	OVERALL LEVEL 2 PLAN (STAGE 2)	25.11.2024
MPHS-NBRS-L3-ZZ-DR-A-0214	14	OVERALL LEVEL 3 PLAN (STAGE 2)	25.11.2024
MPHS-NBRS-L4-ZZ-DR-A-0215	15	OVERALL LEVEL 4 PLAN (STAGE 2)	25.11.2024
MPHS-NBRS-L5-ZZ-DR-A-0216	14	OVERALL LEVEL 5 PLAN (STAGE 2)	25.11.2024
MPHS-NBRS-RF-ZZ-DR-A-0217	13	OVERALL ROOF PLAN (STAGE 2)	25.11.2024
MPHS-NBRS-ZZ-ZZ-DR-A-3002	9	SITE ELEVATIONS SHEET 2	25.11.2024
MPHS-NBRS-ZZ-ZZ-DR-A-3002	9	SITE ELEVATIONS SHEET 2	25.11.2024

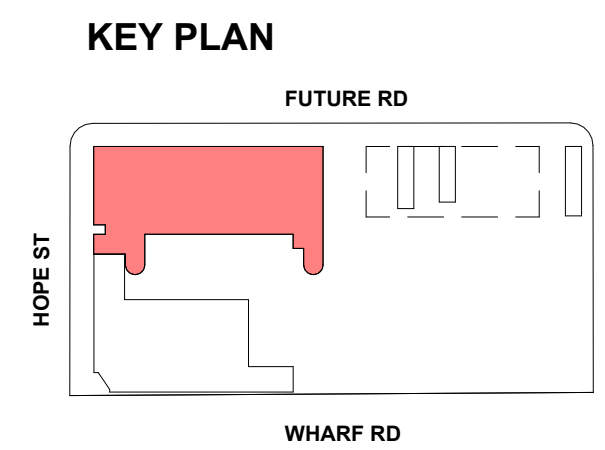




**1 BUILDING A - GROUND FLOOR PLAN**  
1 : 100

Issue No.	Date	Description	Chkd
5	2024.11.25	For Coordination	TP
4	2024.11.15	Issue for Tender	TP
3	2024.11.01	For Coordination	TP
2	2024.10.22	For Coordination	TP
1	2024.10.21	For Coordination	TP

Changes to this Revision



**GENERAL NOTES**

- READ THESE DRAWINGS IN CONJUNCTION WITH ALL ARCHITECTURAL DRAWINGS AND OTHER CONSULTANTS DRAWINGS AND SPECIFICATIONS AND WITH SUCH OTHER WRITTEN INSTRUCTIONS AS ISSUED DURING THE COURSE OF CONTRACT. REFER ANY DISCREPANCIES TO THE ARCHITECT FOR DECISION BEFORE PROCEEDING WITH THE WORK.
- DO NOT SCALE FROM THE DRAWINGS. UNLESS NOTED OTHERWISE ALL DIMENSIONS ARE IN MILLIMETERS.
- STRUCTURE SHOWN FOR SETOUT AND COORDINATION ONLY. REFER STRUCTURAL ENGINEERS DRAWINGS FOR SIZES AND CONNECTION DETAILS.
- REFER TO SERVICES CONSULTANT'S DRAWINGS FOR SERVICES EQUIPMENT, LOCATIONS AND REQUIREMENTS. SIZES SHOWN FOR SET OUT & COORDINATION ONLY. REPORT ANY DISCREPANCIES TO THE DESIGNER.
- ALLOW TO PROVIDE INSULATION IN ACCORDANCE WITH SECTION J REQUIREMENTS.
- WALLS WITH REQUIRED FRR TO EXTEND FULLY TO THE U/S OF ROOF OR TO U/S OF CONDITIONAL SPACE ABOVE. SEAL ALL JUNCTIONS. FIRE STOP / SEAL ALL PENETRATIONS TO MAINTAIN REQUIRED FRR.
- WALLS WITH THERMAL INSULATION ARE REQUIRED TO EXTEND TO THE U/S OF ROOF OR TO U/S OF A CONDITIONAL SPACE ABOVE.
- ARRANGE FOR PROVISION OF ADDITIONAL STUD AND NOGGINGS IN WALLS BEHIND JOINERY AND MOUNTED FFE ITEMS. ALLOW TO CO-ORDINATE SERVICES REQUIRED FOR LOOSE AND FIXED FFE ITEMS.
- REFER TO FINISHES SCHEDULES AND ROOM LAYOUT SHEETS FOR ALL FINISHES AND COLOURS INCLUDING ADDITIONAL APPLIED FINISHES TO INTERNAL WALLS, CEILINGS, SANITARY FITTINGS & ALL ARCHITECTURAL JOINERY, HARDWARE & FIXTURE PROPRIETARY SELECTIONS.
- ENSURE THAT SUFFICIENT TOLERANCES ARE PROVIDED AND INTEGRATED THROUGHOUT ALL ELEMENTS OF THE WORKS. ACCESSIBLE AMENITIES TO COMPLY WITH AS1428.1 2009 DESIGN FOR ACCESS AND MOBILITY.

**FIRE PROTECTION & WALLS PERFORMANCE**

- WALLS TO ACHIEVE FRL 120/120/120
- WALLS TO ACHIEVE FRL 90/90/90 or -/90/90
- WALLS TO ACHIEVE FRL 60/60/60 or -/60/60
- WALLS TO ACHIEVE FRL 60/60/60 IN SPANDREL ZONE

**SCHEMATIC WIP**

Drawing Title  
**BUILDING A - GROUND FLOOR PLAN**

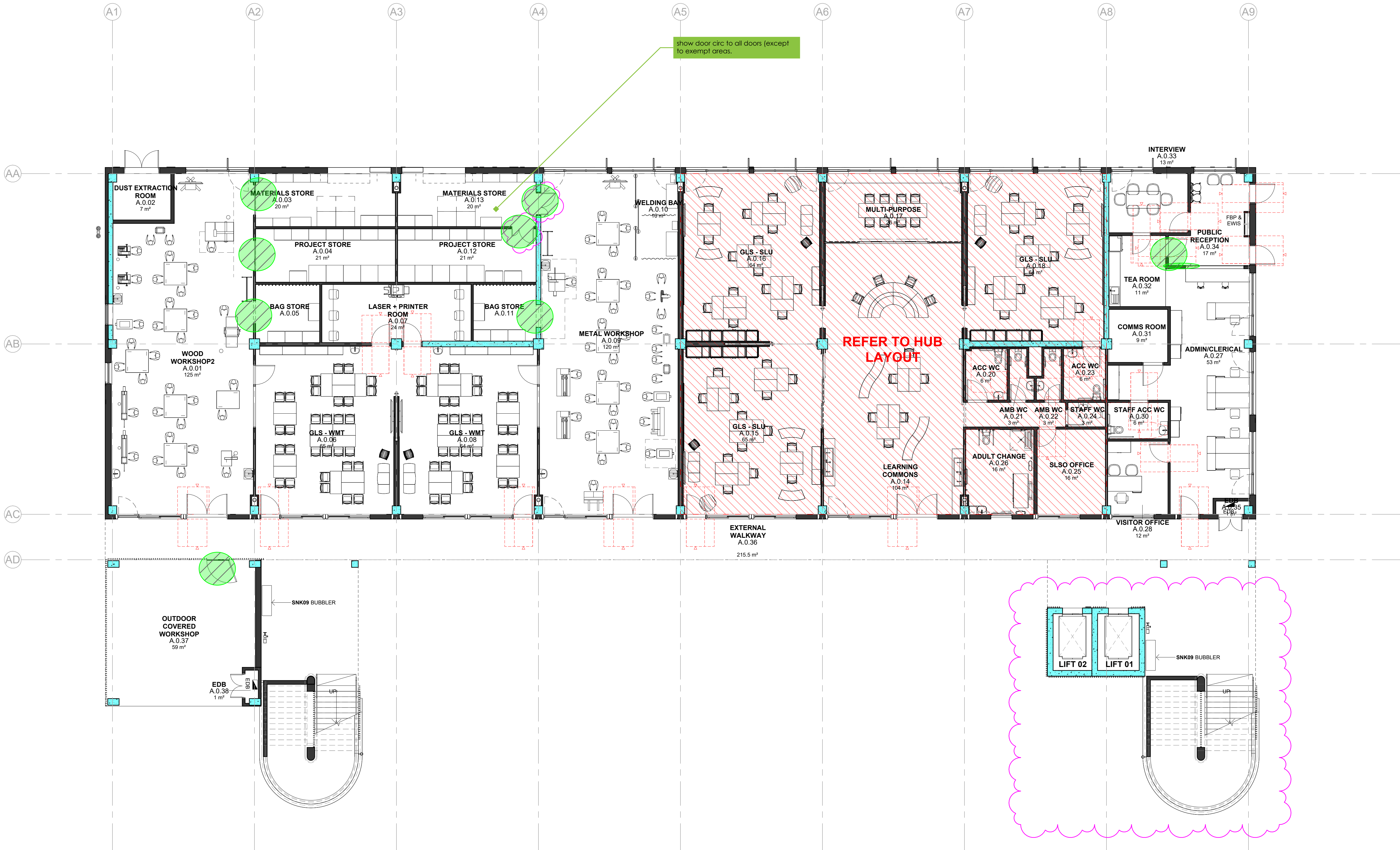
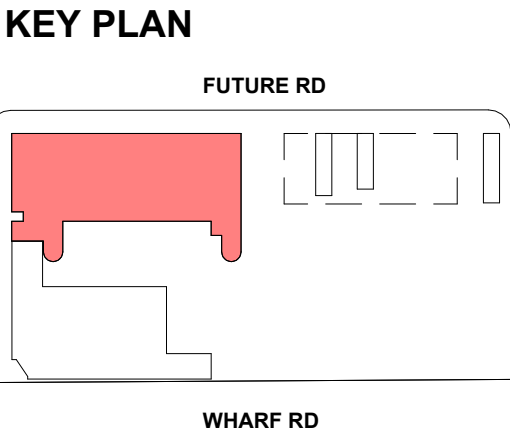
Project  
**24133 - MELROSE PARK HS**  
at  
84 Wharf Road, Melrose Park, NSW 2114



+61 2 9922 2344  
nbrs.com.au  
Nominated Architects:  
Andrew Duffin NSW 5602  
Jonathan West NSW 9899  
NBRS & Partners Pty Ltd VIC 51197  
Any form of replication of this drawing in full or in part without the written permission of NBRS+PARTNERS Pty Ltd constitutes an infringement of the copyright.

Date 25/11/2024 6:03:34 PM  
Scale 1:100 @ A1  
NBRS Project # MPHS  
Drawing Reference  
**MPHS-NBRS-B00A-GF-DR-A-1001**  
Revision  
**5**





BUILDING A - GROUND FLOOR FURNITURE PLAN

1

1 : 100

Issue No.	Date	Description	Chkd
3	2024.11.25	For Coordination	TP
11	2024.11.15	Issue for Tender	TP
2	2024.11.07	For Coordination	TP
1	2024.11.01	For Coordination	TP

Changes to this Revision

Drawing Title  
BUILDING A - GROUND FLOOR FURNITURE PLAN

Project  
24133 - MELROSE PARK HS  
at  
84 Wharf Road, Melrose Park, NSW 2114



**NBR**  
+61 2 9922 2344  
Nominated Architects:  
Andrew Duffin NSW 5602  
Jonathan West NSW 9899  
NBR & Partners Pty Ltd VIC 51197  
Any form of replication of this drawing in full or in part without the written permission of NBR+PARTNERS Pty Ltd constitutes an infringement of the copyright.

nbrs.com.au

Date 25/11/2024 6:04:15 PM  
Scale 1 : 100 @ A1  
NBR Project # MPHS

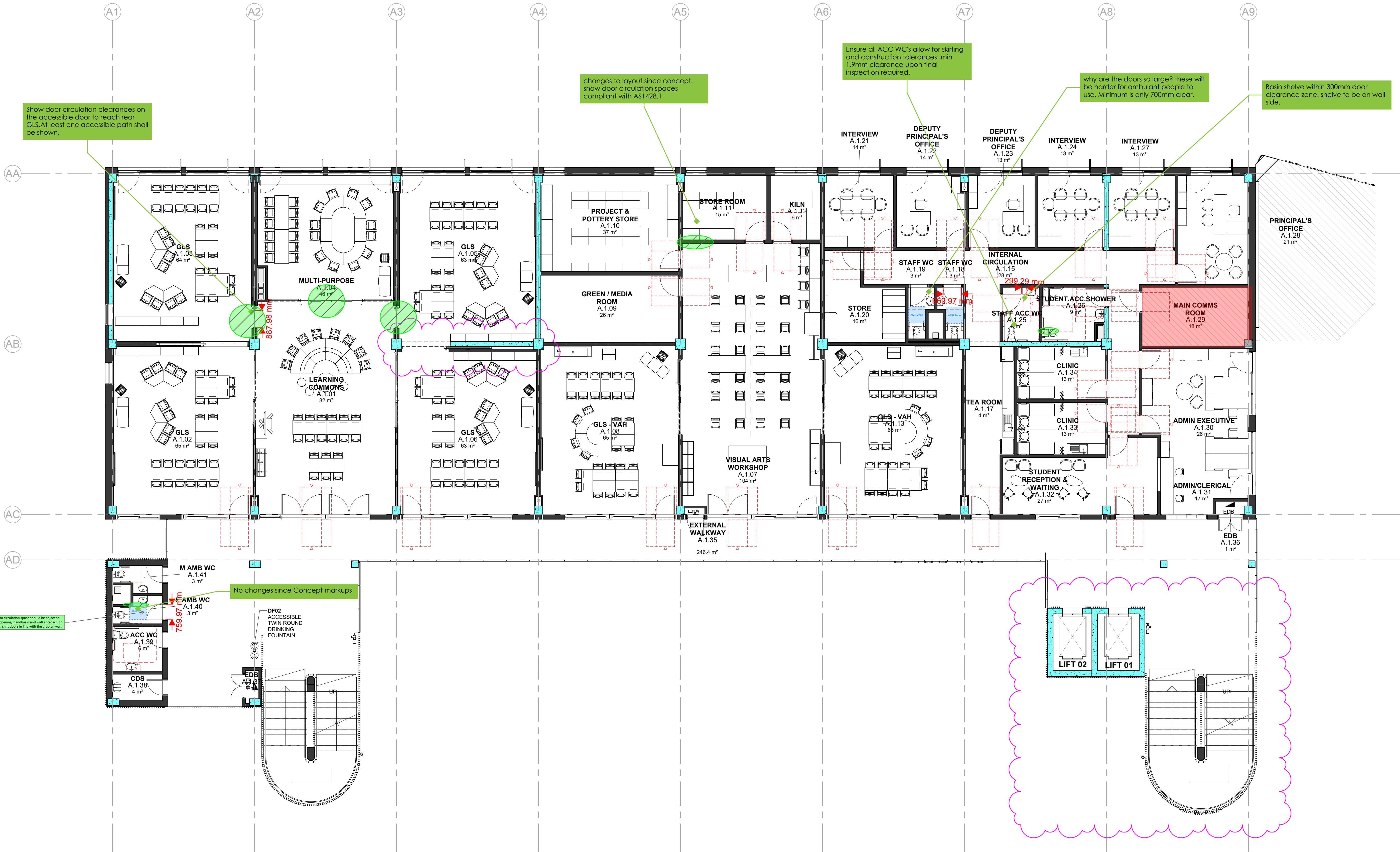
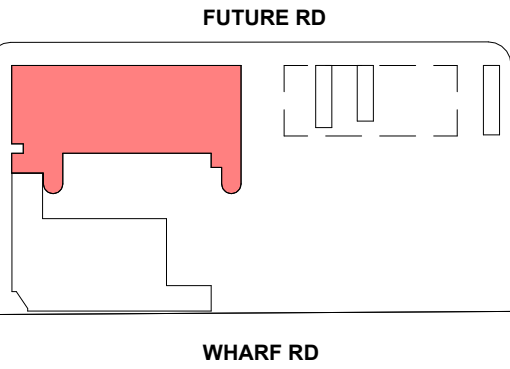
Drawing Reference  
MPHS-NBR-B00A-GF-DR-A-1201

Revision  
3

SCHEMATIC WIP



KEY PLAN



1 BUILDING A - L1 FURNITURE PLAN  
1 : 100

Issue No.	Date	Description	Chkd
3	2024.11.25	For Coordination	TP
T1	2024.11.15	Issue for Tender	TP
2	2024.11.07	For Coordination	TP
1	2024.11.01	For Coordination	TP

Changes to this Revision

Drawing Title  
BUILDING A - LEVEL 1 FURNITURE PLAN

Project  
24133 - MELROSE PARK HS  
at  
84 Wharf Road, Melrose Park, NSW 2114



+61 2 9922 2344  
nbrs.com.au  
Nominated Architects:  
Andrew Duffin NSW 5602  
Jonathan West NSW 9899  
NBRS & Partners Pty Ltd VIC 51197  
ABN 16 002 247 565  
Any form of replication of this drawing in full or in part without the written permission of NBRS+PARTNERS Pty Ltd constitutes an infringement of the copyright.  
© 2023

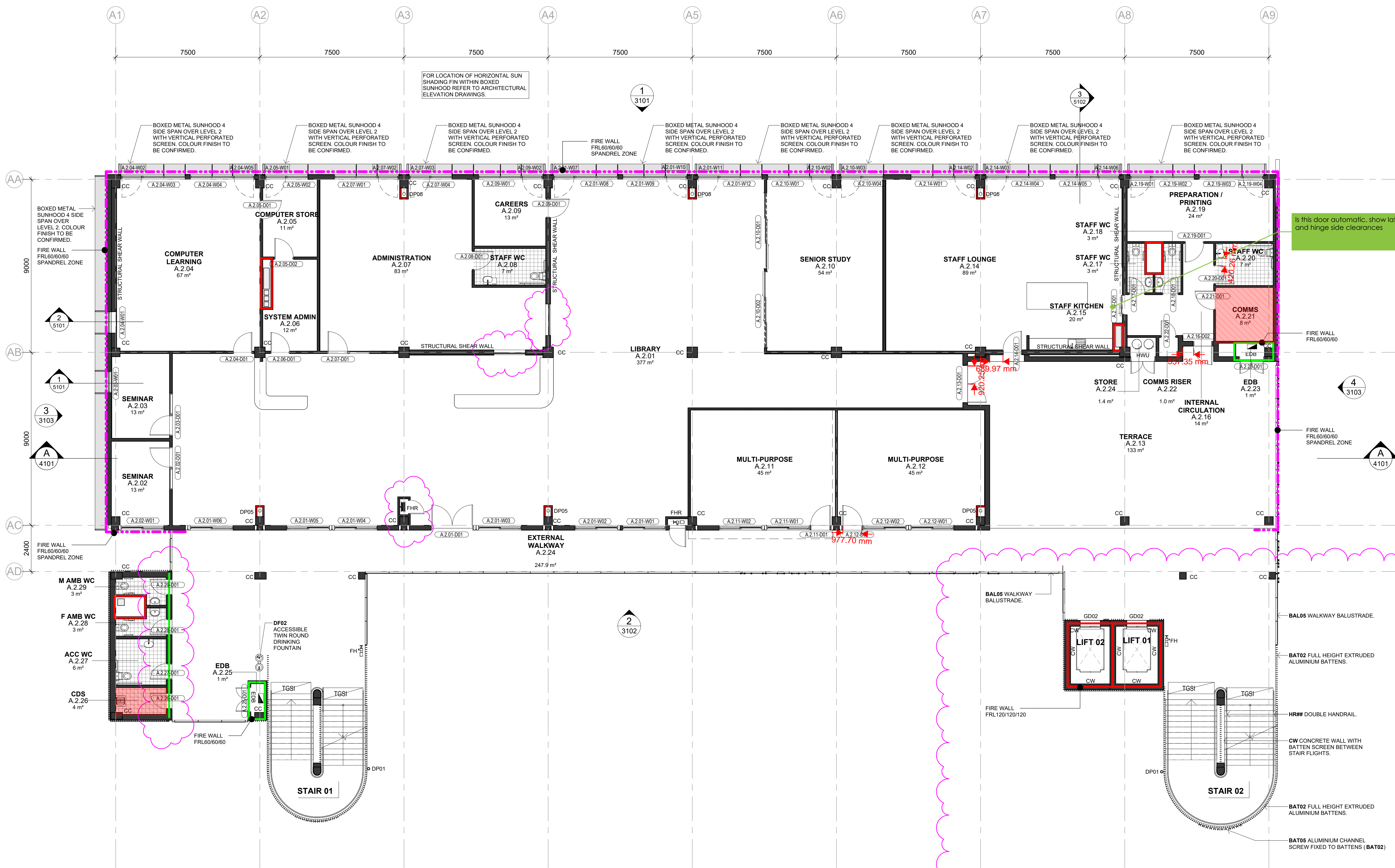
Date 25/11/2024 6:04:20 PM  
Scale 1 : 100 @ A1  
NBRS Project # MPHS

Drawing Reference  
MPHS-NBRS-B00A-L1-DR-A-1202

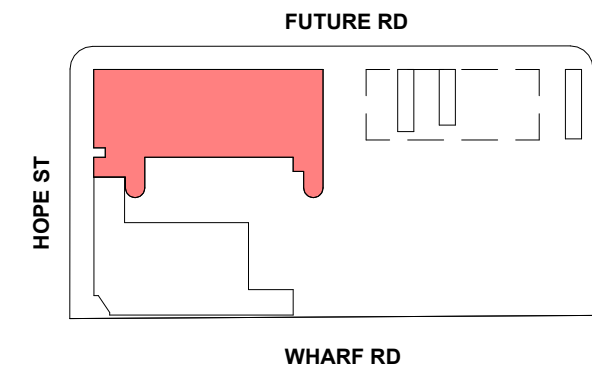
Revision  
3

SCHEMATIC WIP





KEY PLAN



GENERAL NOTES

READ THESE DRAWINGS IN CONJUNCTION WITH ALL ARCHITECTURAL DRAWINGS AND OTHER CONSULTANTS DRAWINGS AND SPECIFICATIONS AND WITH SUCH OTHER WRITTEN INSTRUCTIONS AS ISSUED DURING THE COURSE OF CONTRACT. REFER ANY DISCREPANCIES TO THE ARCHITECT FOR DECISION BEFORE PROCEEDING WITH THE WORK.

DO NOT SCALE FROM THE DRAWINGS. UNLESS NOTED OTHERWISE ALL DIMENSIONS ARE IN MILLIMETERS.

STRUCTURE SHOWN FOR SETOUT AND COORDINATION ONLY. REFER STRUCTURAL ENGINEERS DRAWINGS FOR SIZES AND CONNECTION DETAILS.

REFER TO SERVICES CONSULTANT'S DRAWINGS FOR SERVICES EQUIPMENT, LOCATIONS AND REQUIREMENTS. SIZES SHOWN FOR SET OUT & COORDINATION ONLY. REPORT ANY DISCREPANCIES TO THE DESIGNER.

ALLOW TO PROVIDE INSULATION IN ACCORDANCE WITH SECTION J REQUIREMENTS.

WALLS WITH REQUIRED FRR TO EXTEND FULLY TO THE U/S OF ROOF OR TO U/S OF CONDITIONAL SPACE ABOVE. SEAL ALL JUNCTIONS, FIRE STOP / SEAL ALL PENETRATIONS TO MAINTAIN REQUIRED FRR.

WALLS WITH THERMAL INSULATION ARE REQUIRED TO EXTEND TO THE U/S OF ROOF OR TO U/S OF A CONDITIONAL SPACE ABOVE.

ARRANGE FOR PROVISION OF ADDITIONAL STUD AND NOGGINGS IN WALLS BEHIND JOINERY AND MOUNTED FFE ITEMS. ALLOW TO CO-ORDINATE SERVICES REQUIRED FOR LOOSE AND FIXED FFE ITEMS.

REFER TO FINISHES SCHEDULES AND ROOM LAYOUT SHEETS FOR ALL FINISHES AND COLOURS INCLUDING ADDITIONAL APPLIED FINISHES TO INTERNAL WALLS, CEILINGS, SANITARY FITTINGS & ALL ARCHITECTURAL JOINERY, HARDWARE & FIXTURE PROPRIETARY SELECTIONS.

ENSURE THAT SUFFICIENT TOLERANCES ARE PROVIDED AND INTEGRATED THROUGHOUT ALL ELEMENTS OF THE WORKS. ACCESSIBLE AMENITIES TO COMPLY WITH AS1428.1 2009 DESIGN FOR ACCESS AND MOBILITY.

FIRE PROTECTION & WALLS PERFORMANCE

- WALLS TO ACHIEVE FRL 120/120/120
- WALLS TO ACHIEVE FRL 90/90/90 or ~/90/90
- WALLS TO ACHIEVE FRL 60/60/60 or ~/60/60
- WALLS TO ACHIEVE FRL 60/60/60 IN SPANDREL ZONE

**SCHEMATIC WIP**

**1 BUILDING A - L2 FLOOR PLAN STAGE 1**  
1 : 100

Issue No.	Date	Description	Chkd
4	2024.11.25	For Coordination	TP
11	2024.11.15	Issue for Tender	TP
3	2024.11.07	For Coordination	TP
2	2024.11.01	For Coordination	TP
1	2024.10.21	For Coordination	TP

Changes to this Revision

Drawing Title  
BUILDING A - LEVEL 2 PLAN STAGE 1

Project  
24133 - MELROSE PARK HS

at  
84 Wharf Road, Melrose Park, NSW 2114



**NBRS**

+61 2 9922 2344  
nbrs.com.au  
Nominated Architects:  
Andrew Duffin NSW 5602  
Jonathan West NSW 9899  
NBRS & Partners Pty Ltd VIC 51197  
NBRS & Partners Pty Ltd constitutes an infringement of the copyright.  
ABN 16 002 247 565  
© 2023

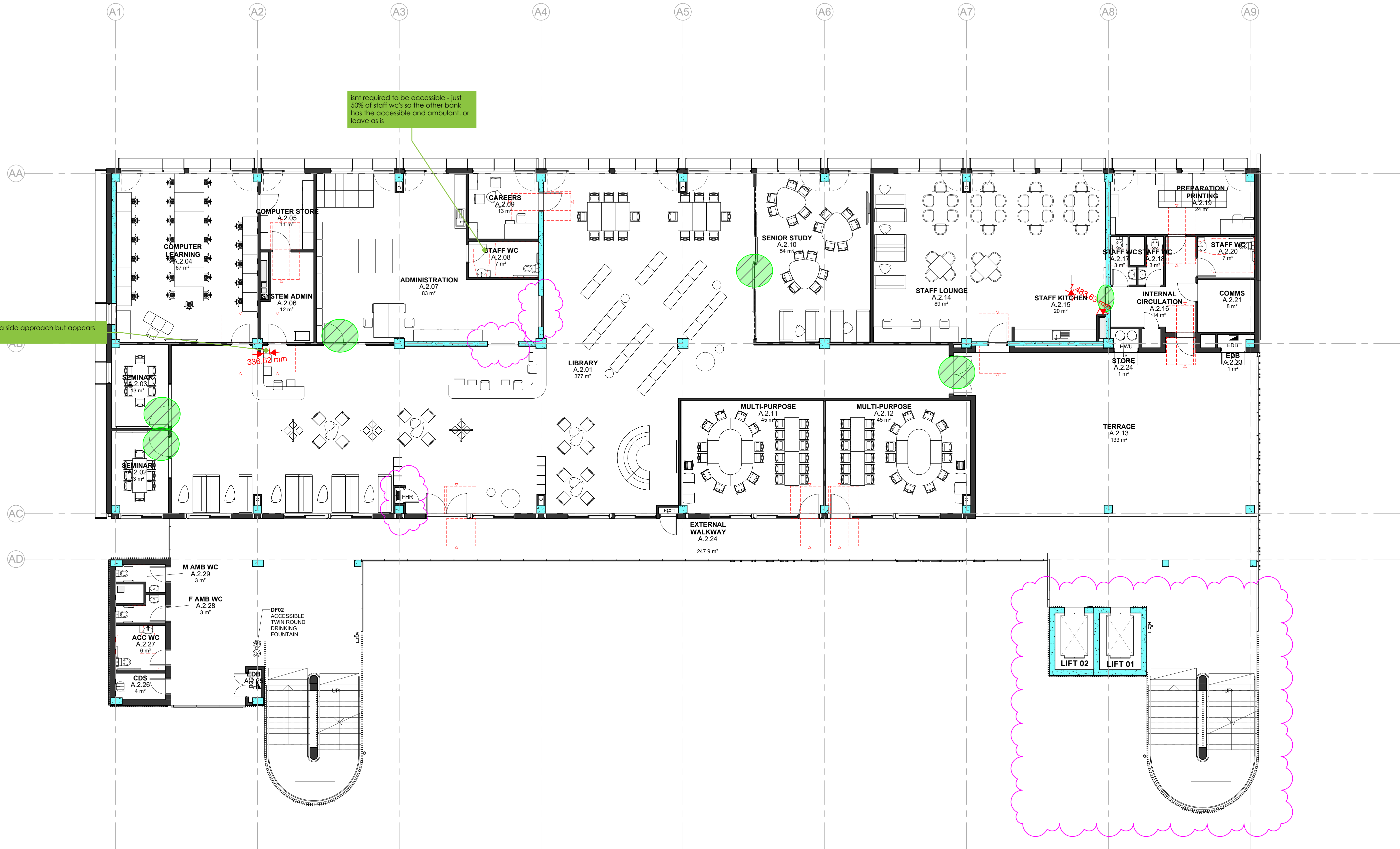
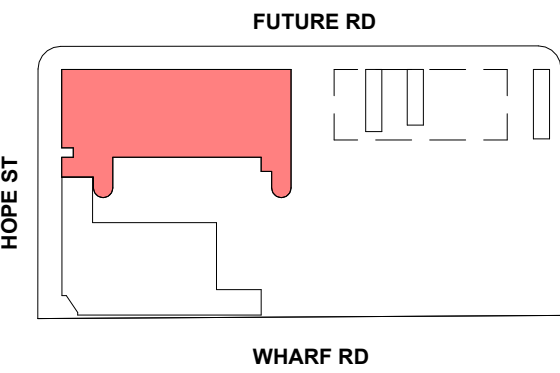
Date 25/11/2024 6:03:41 PM  
Scale 1:100 @ A1  
NBRS Project # MPHS

Drawing Reference  
MPHS-NBRS-B00A-L2-DR-A-1003

Revision  
4



## KEY PLAN

**1 BUILDING A - L2 FURNITURE PLAN**  
1 : 100

Issue No.	Date	Description	Chkd
3	2024.11.25	For Coordination	TP
1	2024.11.15	Issue for Tender	TP
2	2024.11.07	For Coordination	TP
1	2024.11.01	For Coordination	TP

Changes to this Revision

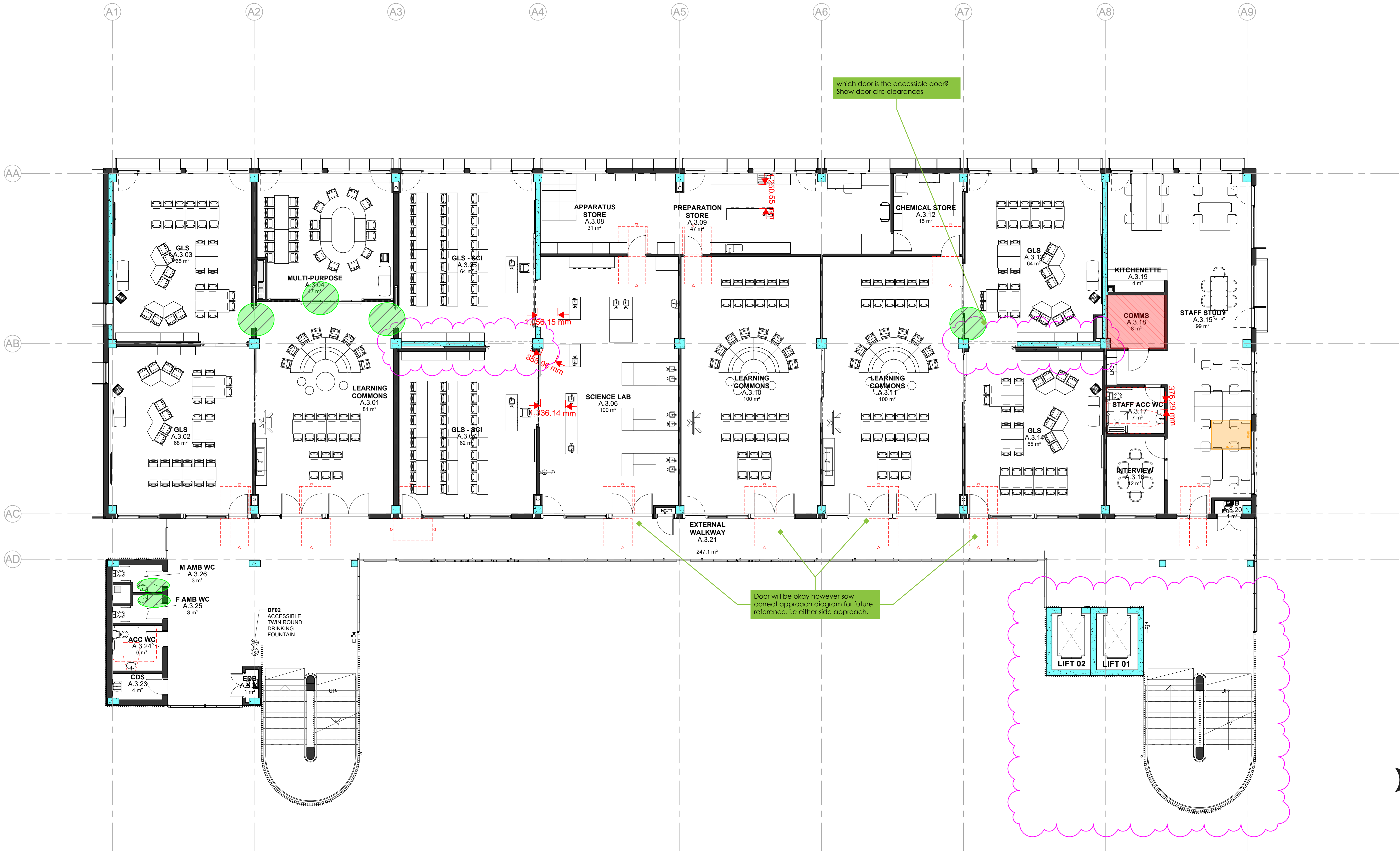
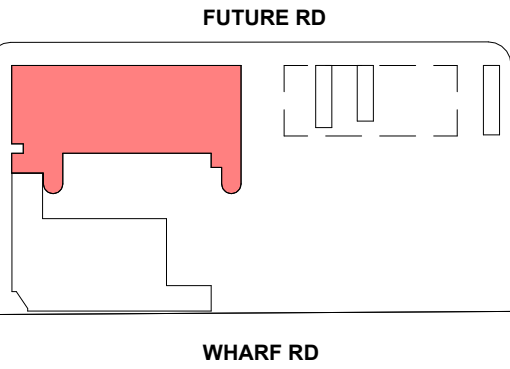
Drawing Title  
BUILDING A - LEVEL 2 FURNITURE  
PLAN STAGE 1Project  
24133 - MELROSE PARK HS  
at  
84 Wharf Road, Melrose Park, NSW 2114**NBRS**+61 2 9922 2344  
Nominated Architects:  
Andrew Duffin NSW 5602  
Jonathan West NSW 9899  
NBRS & Partners Pty Ltd VIC 51197  
Any form of replication of this drawing in full or in part without the written permission of NBRS+PARTNERS Pty Ltd constitutes an infringement of the copyright.

nbrs.com.au

Date 25/11/2024 6:04:25 PM  
Scale 1 : 100 @ A1  
NBRS Project # MPHSDrawing Reference  
MPHS-NBRS-B00A-L2-DR-A-1203Revision  
3**SCHEMATIC WIP**



KEY PLAN



1 BUILDING A - L3 FURNITURE PLAN  
1 : 100

Issue No.	Date	Description	Chkd
3	2024.11.25	For Coordination	TP
T1	2024.11.15	Issue for Tender	TP
2	2024.11.07	For Coordination	TP
1	2024.11.01	For Coordination	TP

Changes to this Revision

Drawing Title  
BUILDING A - LEVEL 3 FURNITURE  
PLAN STAGE 1

Project  
24133 - MELROSE PARK HS  
at  
84 Wharf Road, Melrose Park, NSW 2114



+61 2 9922 2344  
nbrs.com.au  
Nominated Architects:  
Andrew Duffin NSW 5602  
Jonathan West NSW 9899  
NBRSP & Partners Pty Ltd VIC 51197  
ABN 16 002 247 565  
Any form of replication of this drawing in full or in part without the written permission of NBRSP+PARTNERS Pty Ltd constitutes an infringement of the copyright.  
© 2023

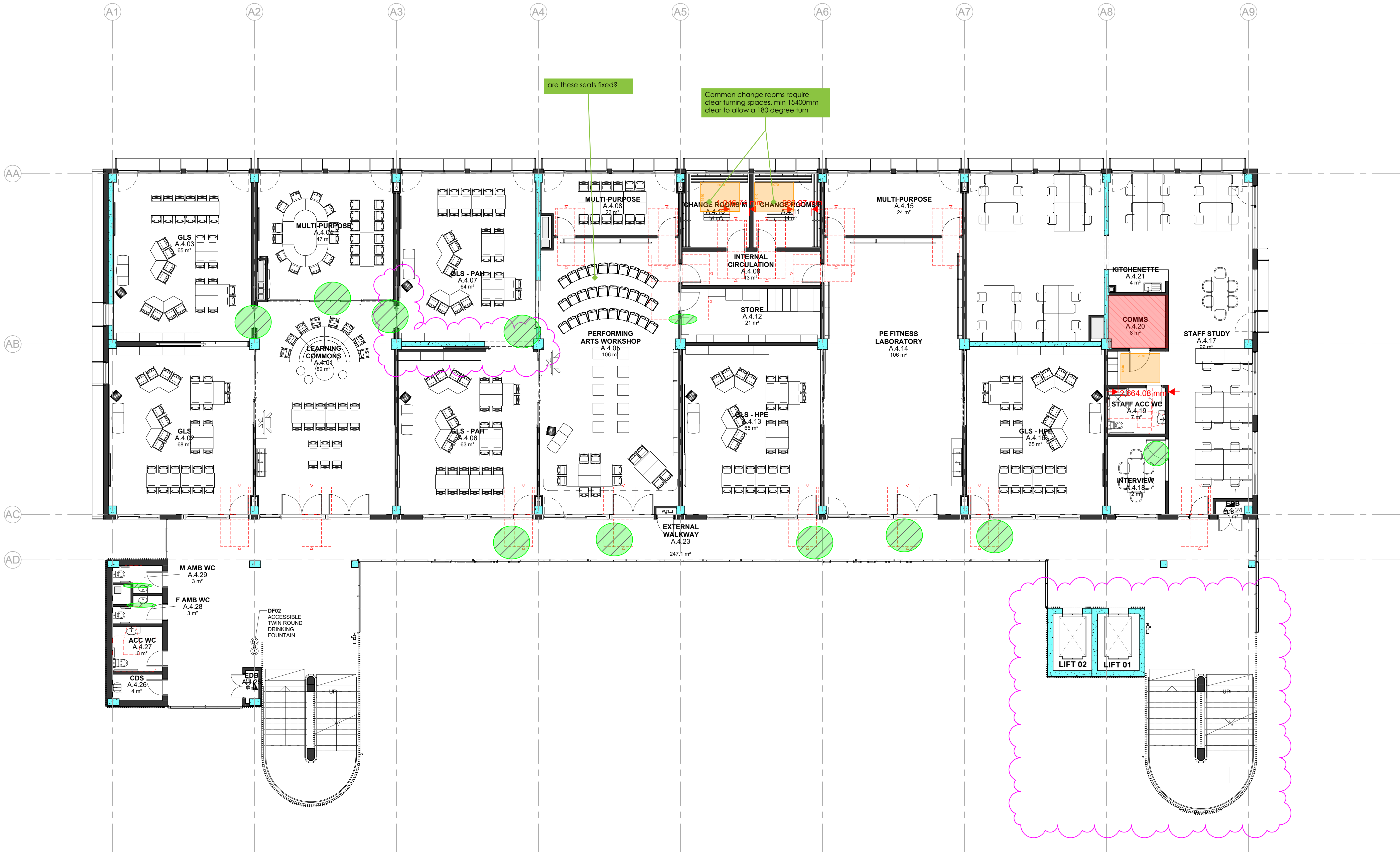
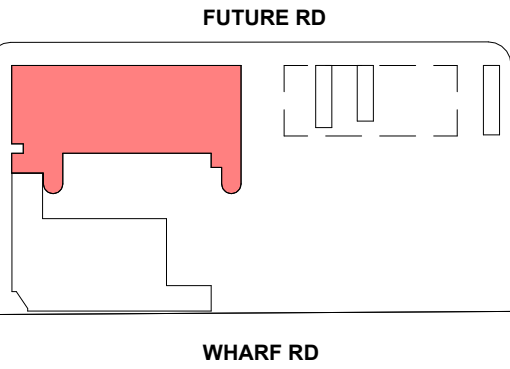
Date 25/11/2024 6:04:29 PM  
Scale 1 : 100 @ A1  
NBRSP Project # MPHS

Drawing Reference  
MPHS-NBRSP-B00A-L3-DR-A-1205  
Revision  
3

SCHEMATIC WIP



KEY PLAN



1 BUILDING A - L4 FURNITURE PLAN  
1 : 100

Issue No.	Date	Description	Chkd
3	2024.11.25	For Coordination	TP
2	2024.11.15	Issue for Tender	TP
2	2024.11.07	For Coordination	TP
1	2024.11.01	For Coordination	TP

Changes to this Revision

Drawing Title  
BUILDING A - LEVEL 4 FURNITURE  
PLAN

Project  
24133 - MELROSE PARK HS  
at  
84 Wharf Road, Melrose Park, NSW 2114



NBRSt  
+61 2 9922 2344

Nominated Architects:  
Andrew Duffin NSW 5602  
Jonathan West NSW 9899  
NBRSt & Partners Pty Ltd VIC 51197  
Any form of replication of this drawing in full or in part without the written permission of NBRSt+PARTNERS Pty Ltd constitutes an infringement of the copyright.  
ABN 16 002 247 565  
© 2023

nbrs.com.au

Date 25/11/2024 6:04:34 PM  
Scale 1 : 100 @ A1  
NBRSt Project # MPHS

Drawing Reference  
MPHS-NBRSt-B00A-L4-DR-A-1207

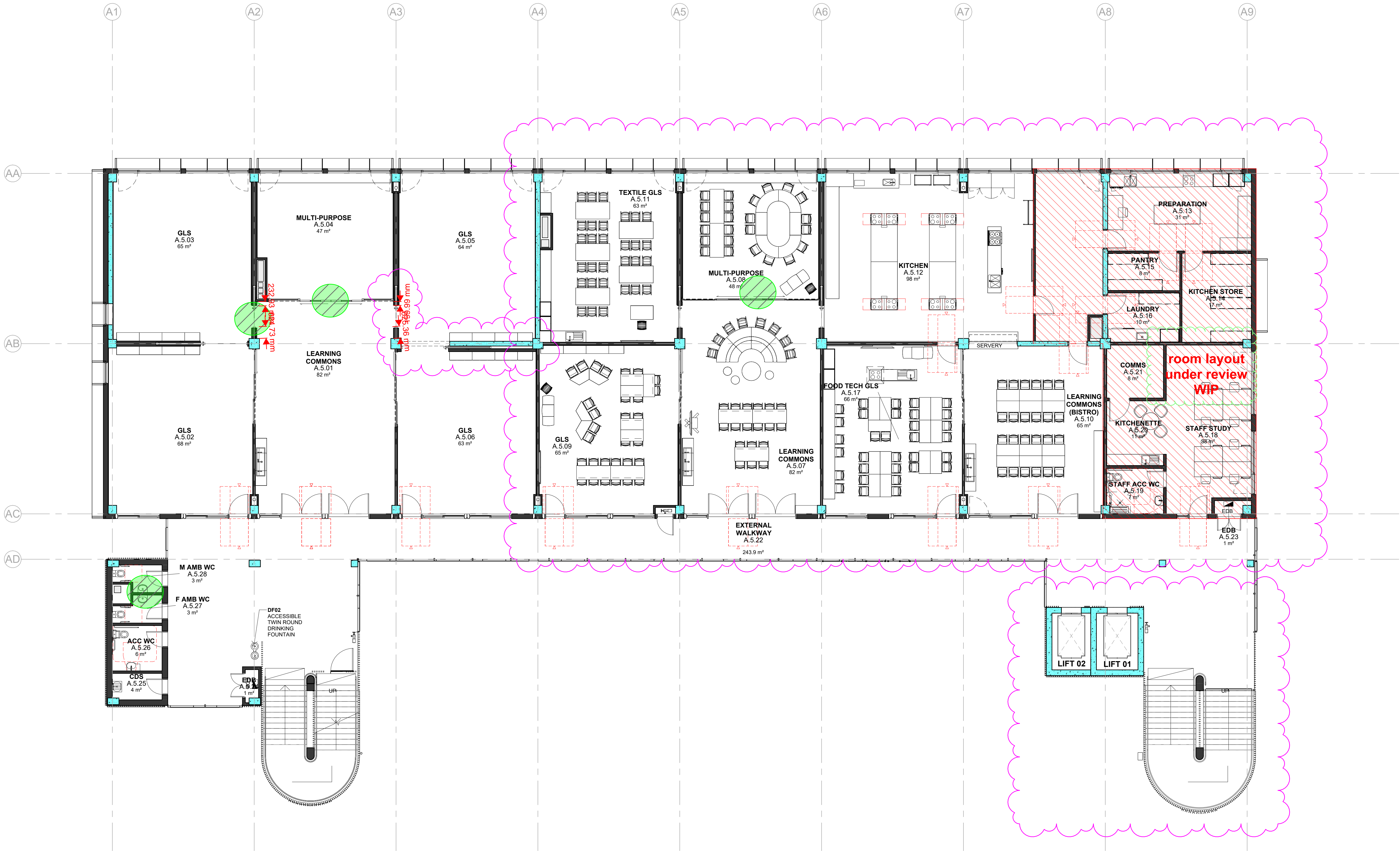
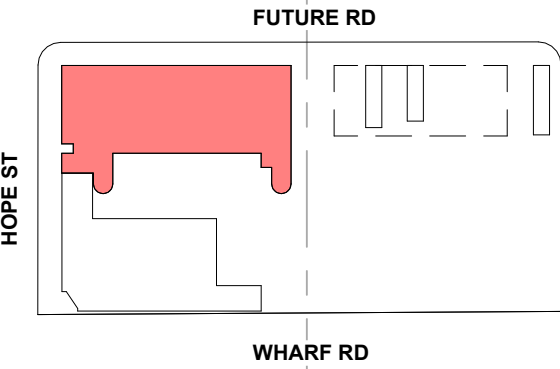
Revision

3

SCHEMATIC WIP



KEY PLAN



room layout  
under review  
WIP

1 BUILDING A - L5 FURNITURE PLAN

1 : 100

Issue No.	Date	Description	Chkd
3	2024.11.25	For Coordination	TP
T1	2024.11.15	Issue for Tender	TP
2	2024.11.07	For Coordination	TP
1	2024.11.01	For Coordination	TP

Changes to this Revision

Drawing Title  
BUILDING A - LEVEL 5 FURNITURE  
PLAN

Project  
24133 - MELROSE PARK HS  
at  
84 Wharf Road, Melrose Park, NSW 2114



NBRSP

+61 2 9922 2344  
nbrs.com.au  
Nominated Architects:  
Andrew Duffin NSW 5602  
Jonathan West NSW 9899  
NBRSP & Partners Pty Ltd VIC 51197  
ABN 16 002 247 565  
Any form of replication of this drawing in full or in part without the written permission of NBRSP+PARTNERS Pty Ltd constitutes an infringement of the copyright.  
© 2023

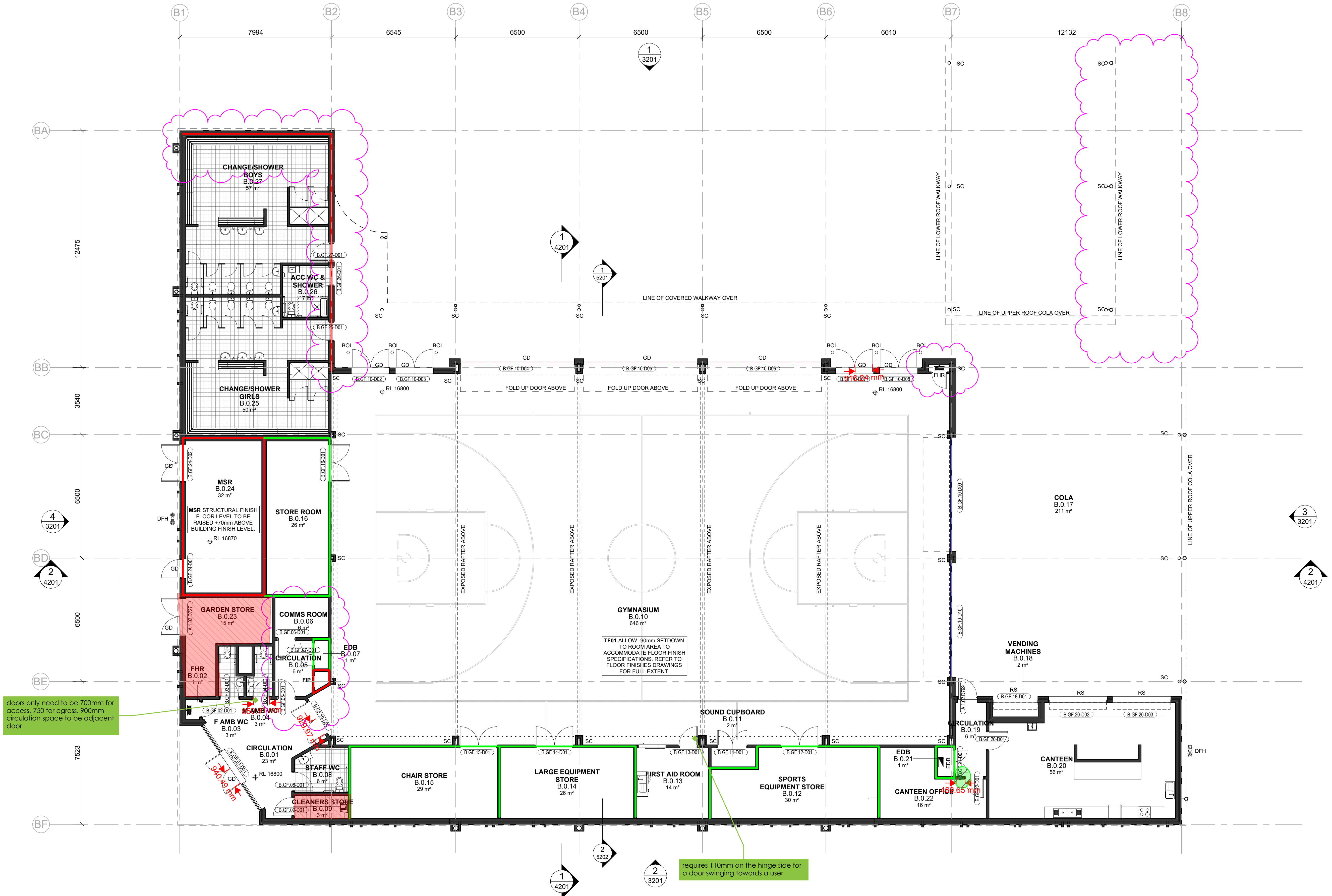
Date 25/11/2024 6:04:52 PM  
Scale 1 : 100 @ A1  
NBRSP Project # MPHS

Drawing Reference  
MPHS-NBRSP-B00A-L5-DR-A-1208

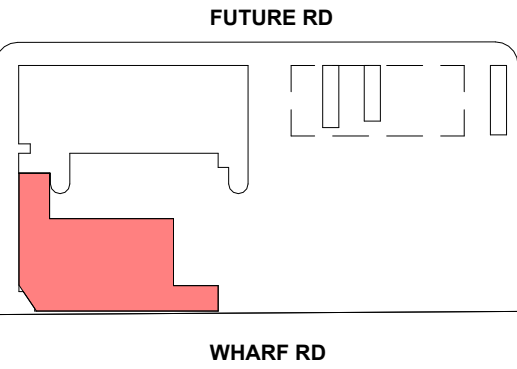
Revision  
3

SCHEMATIC WIP





KEY PLAN



GENERAL NOTES

- READ THESE DRAWINGS IN CONJUNCTION WITH ALL ARCHITECTURAL DRAWINGS AND OTHER CONSULTANTS DRAWINGS AND SPECIFICATIONS AND WITH SUCH OTHER WRITTEN INSTRUCTIONS AS ISSUED DURING THE COURSE OF CONTRACT. REFER ANY DISCREPANCIES TO THE ARCHITECT FOR DECISION BEFORE PROCEEDING WITH THE WORK.
- DO NOT SCALE FROM THE DRAWINGS. UNLESS NOTED OTHERWISE ALL DIMENSIONS ARE IN MILLIMETERS.
- STRUCTURE SHOWN FOR SETOUT AND COORDINATION ONLY. REFER STRUCTURAL ENGINEERS DRAWINGS FOR SIZES AND CONNECTION DETAILS.
- REFER TO SERVICES CONSULTANT'S DRAWINGS FOR SERVICES EQUIPMENT, LOCATIONS AND REQUIREMENTS. SIZES SHOWN FOR SET OUT & COORDINATION ONLY. REPORT ANY DISCREPANCIES TO THE DESIGNER.
- ALLOW TO PROVIDE INSULATION IN ACCORDANCE WITH SECTION J REQUIREMENTS.
- WALLS WITH REQUIRED FRR TO EXTEND FULLY TO THE U/S OF ROOF OR TO U/S OF CONDITIONAL SPACE ABOVE. SEAL ALL JUNCTIONS. FIRE STOP / SEAL ALL PENETRATIONS TO MAINTAIN REQUIRED FRR.
- WALLS WITH THERMAL INSULATION ARE REQUIRED TO EXTEND TO THE U/S OF ROOF OR TO U/S OF A CONDITIONAL SPACE ABOVE.
- ARRANGE FOR PROVISION OF ADDITIONAL STUD AND NOGGINGS IN WALLS BEHIND JOINERY AND MOUNTED FFE ITEMS. ALLOW TO CO-ORDINATE SERVICES REQUIRED FOR LOOSE AND FIXED FFE ITEMS.
- REFER TO FINISHES SCHEDULES AND ROOM LAYOUT SHEETS FOR ALL FINISHES AND COLOURS INCLUDING ADDITIONAL APPLIED FINISHES TO INTERNAL WALLS, CEILINGS, SANITARY FITTINGS & ALL ARCHITECTURAL JOINERY, HARDWARE & FIXTURE PROPRIETARY SELECTIONS.
- ENSURE THAT SUFFICIENT TOLERANCES ARE PROVIDED AND INTEGRATED THROUGHOUT ALL ELEMENTS OF THE WORKS. ACCESSIBLE AMENITIES TO COMPLY WITH AS1428.1 2009 DESIGN FOR ACCESS AND MOBILITY.

FIRE PROTECTION & WALLS PERFORMANCE

- WALLS TO ACHIEVE FRL 120/120/120
- WALLS TO ACHIEVE FRL 90/90/90 or ~/90/90
- WALLS TO ACHIEVE FRL 60/60/60 or ~/60/60
- WALLS TO ACHIEVE FRL 60/60/60 IN SPANDREL ZONE

1 BUILDING B - GROUND FLOOR PLAN  
1 : 100

Issue No.	Date	Description	Chkd
6	2024.11.25	For Coordination	TP
T1	2024.11.15	Issue For Tender	TP
5	2024.11.07	For Coordination	TP
4	2024.11.01	For Coordination	TP
3	2024.10.21	For Coordination	TP
2	2024.10.18	For Coordination	TP
1	2024.08.13	For Coordination	NBRS

Changes to this Revision

Drawing Title  
BUILDING B - GROUND FLOOR PLAN

Project  
24133 - MELROSE PARK HS  
at  
84 Wharf Road, Melrose Park, NSW 2114



NBRS  
+61 2 9922 2344  
Nominated Architects:  
Andrew Duffin NSW 5602  
Jonathan West NSW 9899  
NBRS & Partners Pty Ltd VIC 51197  
Any form of replication of this drawing in full or in part without the written permission of NBRS+PARTNERS Pty Ltd constitutes an infringement of the copyright.

nbrs.com.au

Date 25/11/2024 7:03:41 PM  
Scale 1 : 100 @ A1  
NBRS Project # MPHS

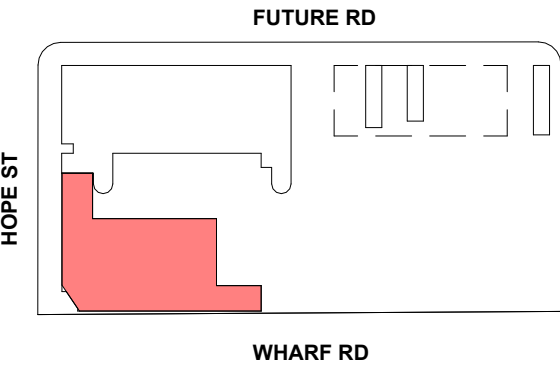
Drawing Reference  
MPHS-NBRS-B00B-GF-DR-A-1011

Revision  
6

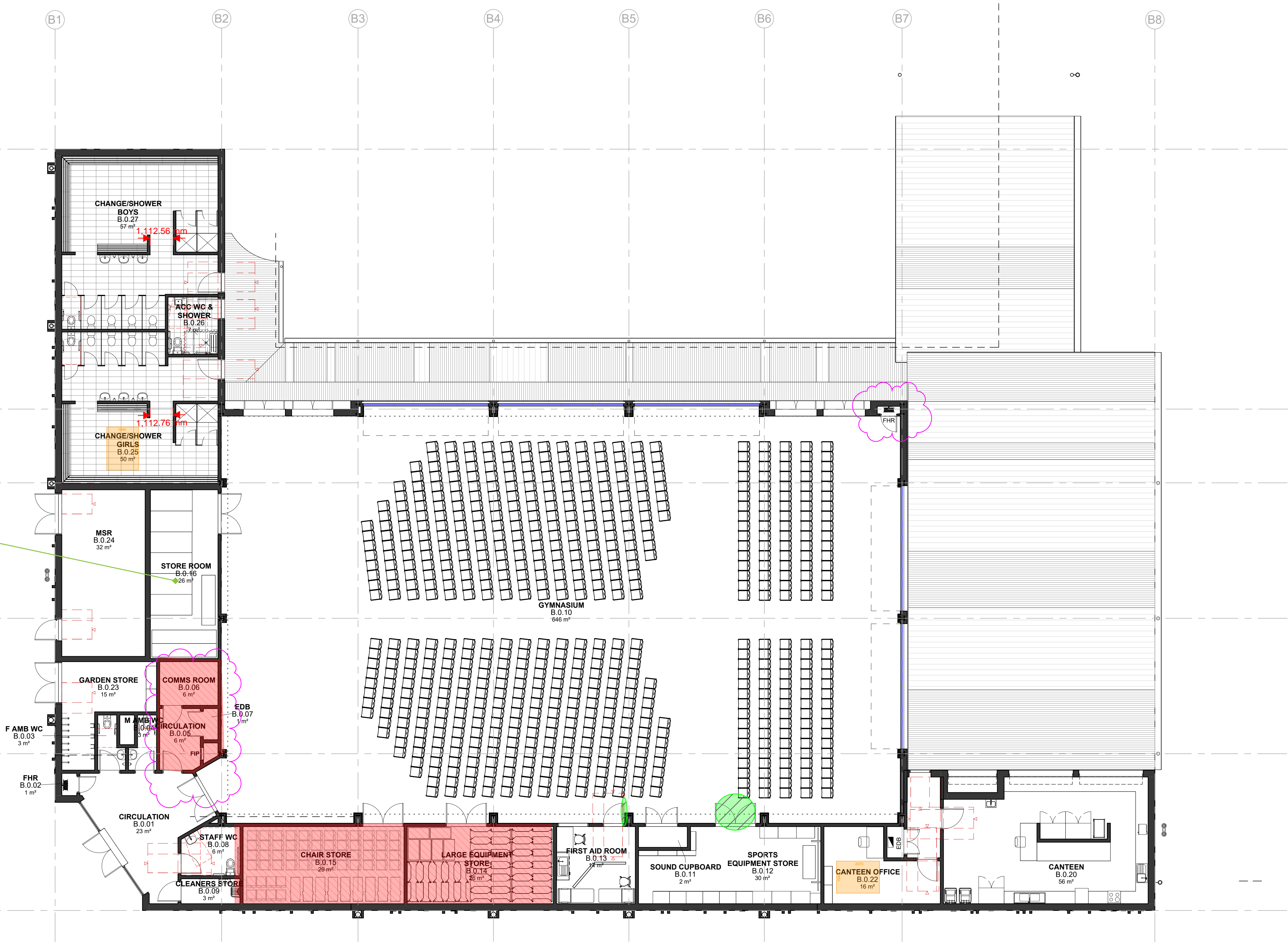
SCHEMATIC WIP



KEY PLAN



what is this store room used for? is it a health and safety concern?



**BUILDING B - GROUND FLOOR FUNITURE PLAN**  
1 : 100

Issue				Changes to this Revision	
No.	Date	Description	Chkd		
5	2024.11.25	For Coordination	TP		
T1	2024.11.15	Issue For Tender	TP		
4	2024.11.07	For Coordination	TP		
3	2024.11.01	For Coordination	TP		
2	2024.10.21	For Coordination	TP		
1	2024.08.13	For Coordination	NBRS		

Drawing Title  
**BUILDING B - GROUND FLOOR FURNITURE PLAN**

Project  
**24133 - MELROSE PARK HS**

at  
84 Wharf Road, Melrose Park, NSW 2114

**Education**

**NBRS**  
+61 2 9922 2344  
nbrs.com.au

Nominated Architects:  
Andrew Duffin NSW 5602  
Jonathan West NSW 9899  
NBRS & Partners Pty Ltd VIC 51197  
Any form of replication of this drawing in full or in part without the written permission of NBRS+PARTNERS Pty Ltd constitutes an infringement of the copyright.

ABN 16 002 247 565

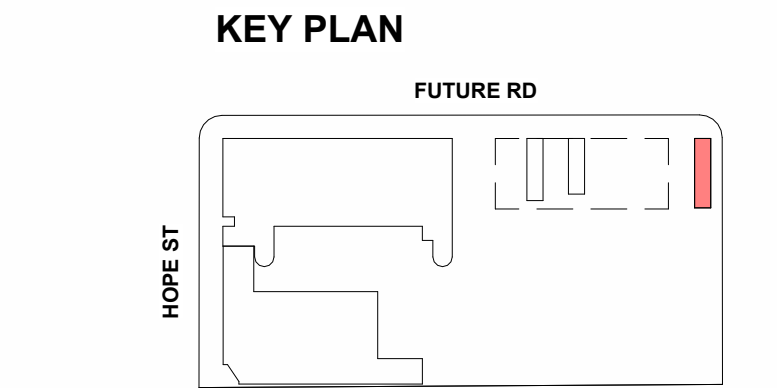
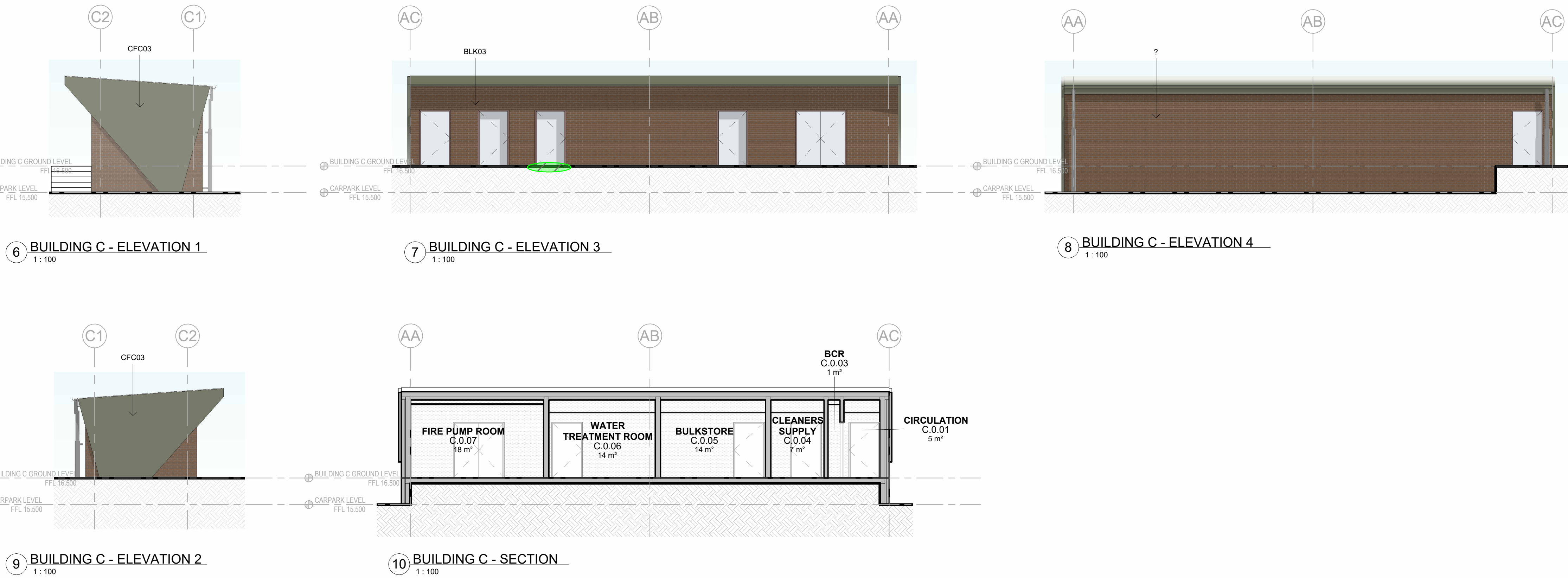
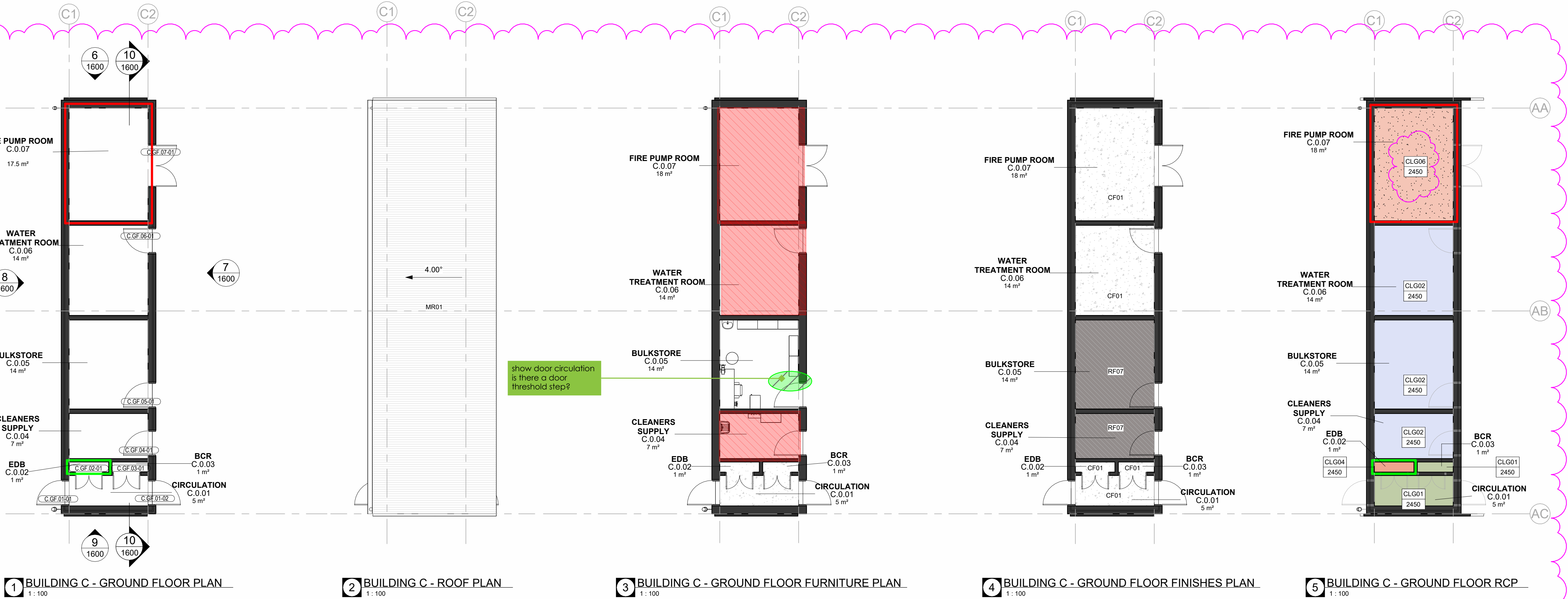
Date 25/11/2024 7:03:46 PM  
Scale 1 : 100 @ A1  
NBRS Project # MPHS

Drawing Reference  
**MPHS-NBRS-B00B-GF-DR-A-1211**

Revision  
**5**

**SCHEMATIC WIP**





NOTE: REFER TO SERVICES ENGINEERS DRAWINGS FOR DETAILED INFORMATION. SYMBOLS DRAWN ARE REPRESENTATIONAL ONLY.

SYMBOL LEGEND

TYPE OF CEILING	CLG
NO CEILING	NC
HEIGHT CEILING	CH2700
RAKED CEILING	RAKED
NO CEILING	NO CEILING
MATCH EXISTING	[MTC EX]

CEILING TAG

CLG00	EXPOSED CONCRETE - CLASS 2 FINISH
CLG01	SUSPENDED CEILING - STANDARD FLUSH PLASTERBOARD
CLG02	SUSPENDED CEILING - STANDARD WATER RESISTANT FLUSH PLASTERBOARD
CLG03	SUSPENDED CEILING - ACOUSTIC PERFORATED PLASTERBOARD
CLG04	SUSPENDED CEILING - FIRE RATED PLASTERBOARD 60/60/60
CLG05	SUSPENDED CEILING - FIRE RATED PLASTERBOARD 120/120/120
CLG06	SUSPENDED CEILING - FIRE RATED WATER RESISTANT PLASTERBOARD 120/120/120
CLG10	SUSPENDED CEILING - CEILING TILE 1200 x 600
CLG11.1	ACOUSTIC CEILING - DIRECT STICK 12MM
CLG11.2	ACOUSTIC CEILING - DIRECT STICK 24MM
CLG12	ACOUSTIC CEILING - WOOD & METAL WORKSHOP
CLG21	EXTERNAL PC CEILING
CLG22	EXTERNAL PERFORATED PC CEILING
CLG23	EXTERNAL FEATURE CEILING
CLG31	INTERNAL FEATURE ACOUSTIC PANEL

MECHANICAL

A/C CASSETTE
SUPPLY AIR SWIRL - 350 DIA 600 X 600
SUPPLY AIR SWIRL - 450 DIA 600 X 600
KITCHEN EXHAUST GRILLE
TOILET EXHAUST GRILLE
RETURN AIR GRILLE
ACCESS PANEL
ELECTRIC RADIANT HEATER
CEILING MOUNTED FAN
SURFACE MOUNTED FAN

LIGHT FITTINGS

RECESSED DOWNLIGHT
SURFACE MOUNTED LINEAR DIFFUSED LIGHT
SUSPENDED LINEAR DIFFUSED LIGHT - 300x1200
RECESSED PANEL LED LIGHT - 600x600
RECESSED PANEL LED LIGHT - 300x1200
RECESSED PANEL LED LIGHT - 300x600

FIRE DETECTION & WARNING SYSTEM

SMOKE DETECTOR
SURFACE MOUNTED SMOKE DETECTOR
CEILING PA SPEAKER
CEILING FIRE WARNING SPEAKER

EMERGENCY & EXIT LIGHTING

LED EMERGENCY LIGHT
LED / FLUORESCENT EMERGENCY EXIT LIGHT FITTING RECESSED
LED / FLUORESCENT EMERGENCY EXIT LIGHT FITTING SURFACE MOUNTED
MOTION SENSOR
WIRELESS ACCESS POINT
PR MOTION DETECTOR

NOTE: WAP - WIRELESS ACCESS POINT PROVIDED TO EVERY ROOM UNLESS NOTED OTHERWISE.

FIRE PROTECTION & WALLS PERFORMANCE

WALLS TO ACHIEVE FRL 120/120/120
WALLS TO ACHIEVE FRL 90/90/90 or -/90/90
WALLS TO ACHIEVE FRL 60/60/60 or -/60/60
WALLS TO ACHIEVE FRL 60/60/60 IN SPANDREL ZONE

GENERAL NOTES

READ THESE DRAWINGS IN CONJUNCTION WITH ALL ARCHITECTURAL DRAWINGS AND OTHER CONSULTANTS DRAWINGS AND SPECIFICATIONS AND WITH SUCH OTHER WRITTEN INSTRUCTIONS AS ISSUED DURING THE COURSE OF CONTRACT. REFER ANY DISCREPANCIES TO THE ARCHITECT FOR DECISION BEFORE PROCEEDING WITH THE WORK.

DO NOT SCALE FROM THE DRAWINGS. UNLESS NOTED OTHERWISE ALL DIMENSIONS ARE IN MILLIMETERS.

STRUCTURE SHOWN FOR SETOUT AND COORDINATION ONLY. REFER STRUCTURAL ENGINEERS DRAWINGS FOR SIZES AND CONNECTION DETAILS.

REFER TO SERVICES CONSULTANT'S DRAWINGS FOR SERVICES EQUIPMENT, LOCATIONS AND REQUIREMENTS. SIZES SHOWN FOR SET OUT & COORDINATION ONLY. REPORT ANY DISCREPANCIES TO THE DESIGNER.

ALLOW TO PROVIDE INSULATION IN ACCORDANCE WITH SECTION J REQUIREMENTS.

WALLS WITH REQUIRED FRR TO EXTEND FULLY TO THE U/S OF ROOF OR TO U/S OF CONDITIONAL SPACE ABOVE. SEAL ALL JUNCTIONS. FIRE STOP / SEAL ALL PENETRATIONS TO MAINTAIN REQUIRED FRR.

WALLS WITH THERMAL INSULATION ARE REQUIRED TO EXTEND TO THE U/S OF ROOF OR TO U/S OF A CONDITIONAL SPACE ABOVE.

ARRANGE FOR PROVISION OF ADDITIONAL STUD AND NOGGINGS IN WALLS BEHIND JOINERY AND MOUNTED FFE ITEMS. ALLOW TO CO-ORDINATE SERVICES REQUIRED FOR LOOSE AND FIXED FFE ITEMS.

REFER TO FINISHES SCHEDULES AND ROOM LAYOUT SHEETS FOR ALL FINISHES AND COLOURS INCLUDING ADDITIONAL APPLIED FINISHES TO INTERNAL WALLS, CEILINGS, SANITARY FITTINGS & ALL ARCHITECTURAL JOINERY, HARDWARE & FIXTURE PROPRIETARY SELECTIONS.

ENSURE THAT SUFFICIENT TOLERANCES ARE PROVIDED AND INTEGRATED THROUGHOUT ALL ELEMENTS OF THE WORKS. ACCESSIBLE AMENITIES TO COMPLY WITH AS1428.1 2009 DESIGN FOR ACCESS AND MOBILITY.

SCHEMATIC WIP

Issue No.	Date	Description	Chkd
5	2024.11.25	For Coordination	TP
T1	2024.11.15	Issue For Tender	TP
4	2024.11.07	For Coordination	TP
3	2024.11.01	For Coordination	TP
2	2024.10.22	For Coordination	TP
1	2024.10.18	For Coordination	TP

Changes to this Revision

Drawing Title  
BUILDING C

Project  
24133 - MELROSE PARK HS

at  
84 Wharf Road, Melrose Park, NSW 2114



NBRS

+61 2 9922 2344  
nbrs.com.au  
Nominated Architects:  
Jonathan West NSW 9899  
NBRS & Partners Pty Ltd VIC 51197  
Any form of replication of this drawing in full or in part without the written permission of NBRS+PARTNERS Pty Ltd constitutes an infringement of the copyright.

Date 25/11/2024 6:22:06 PM

Scale 1:100 @ A1

NBRS Project # MPHS

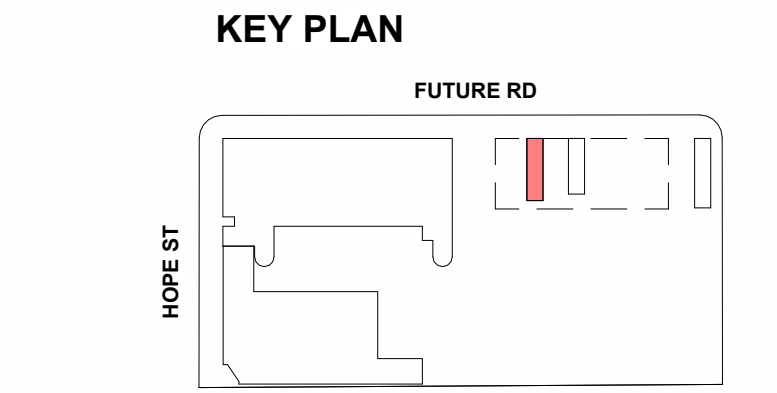
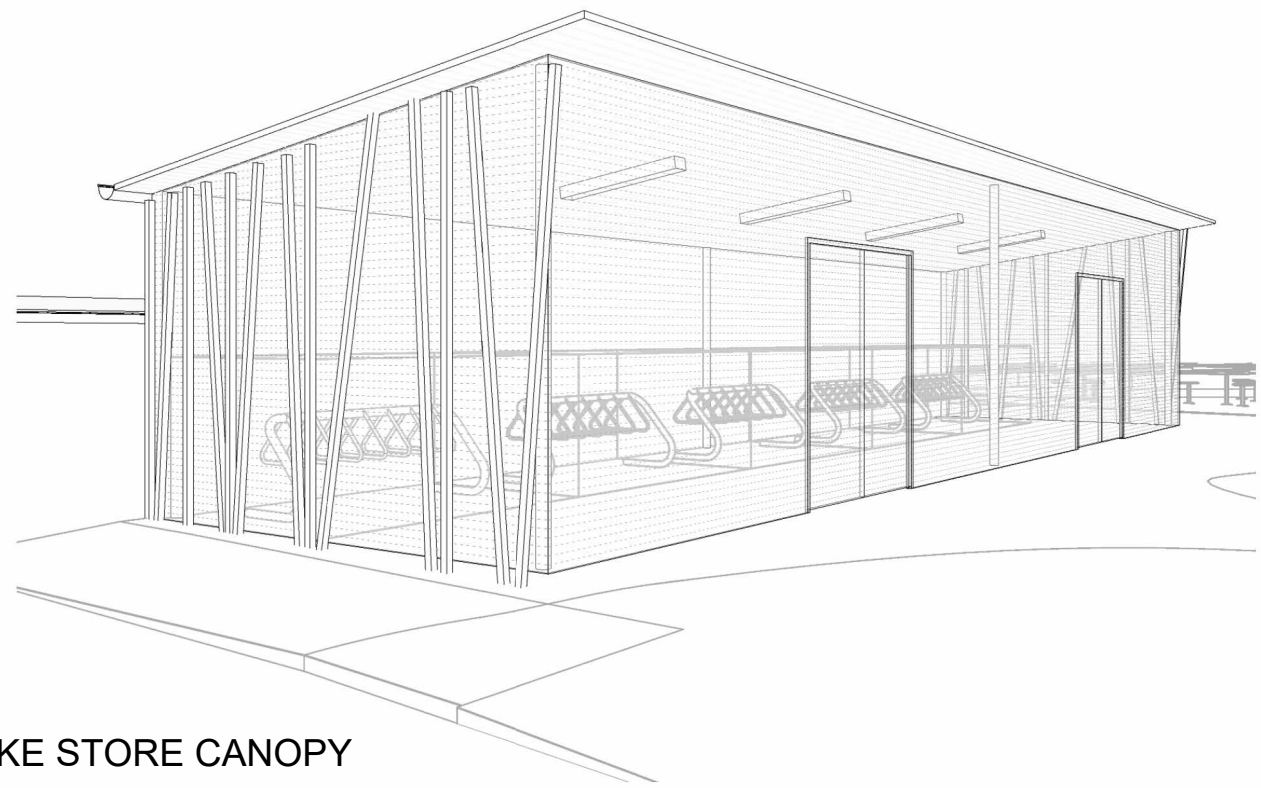
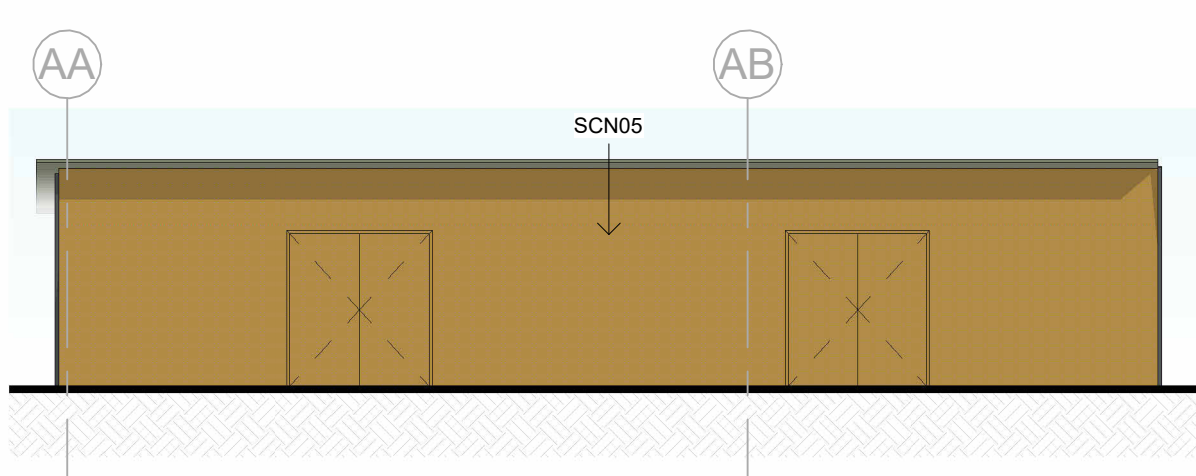
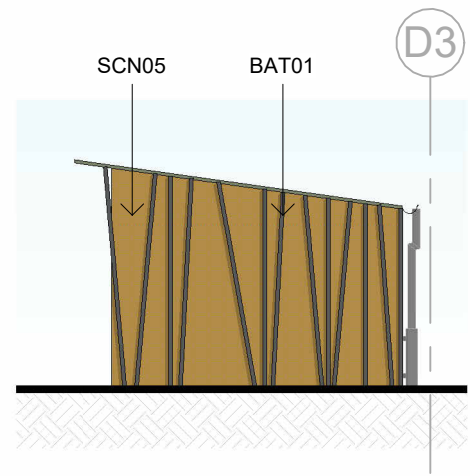
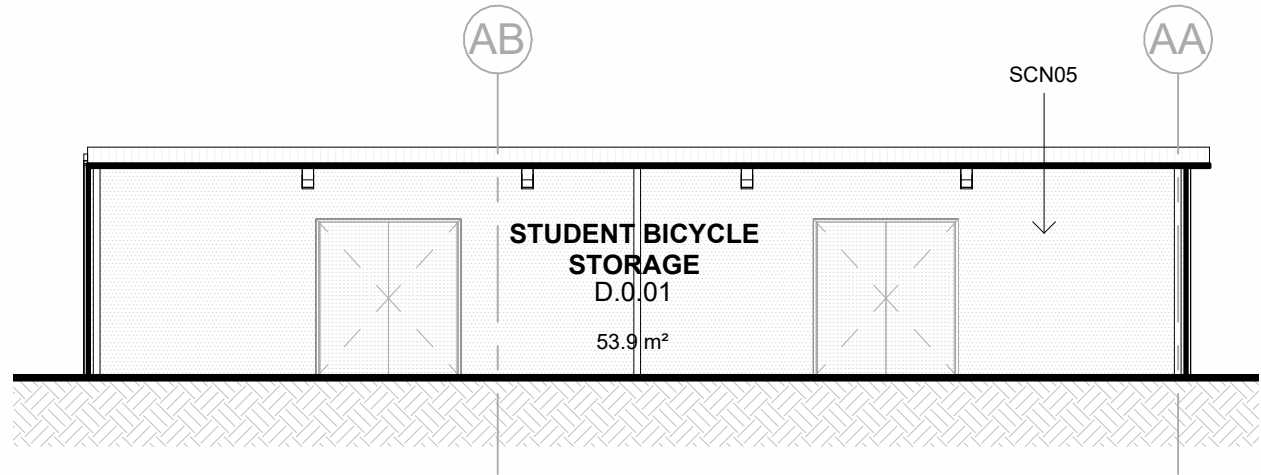
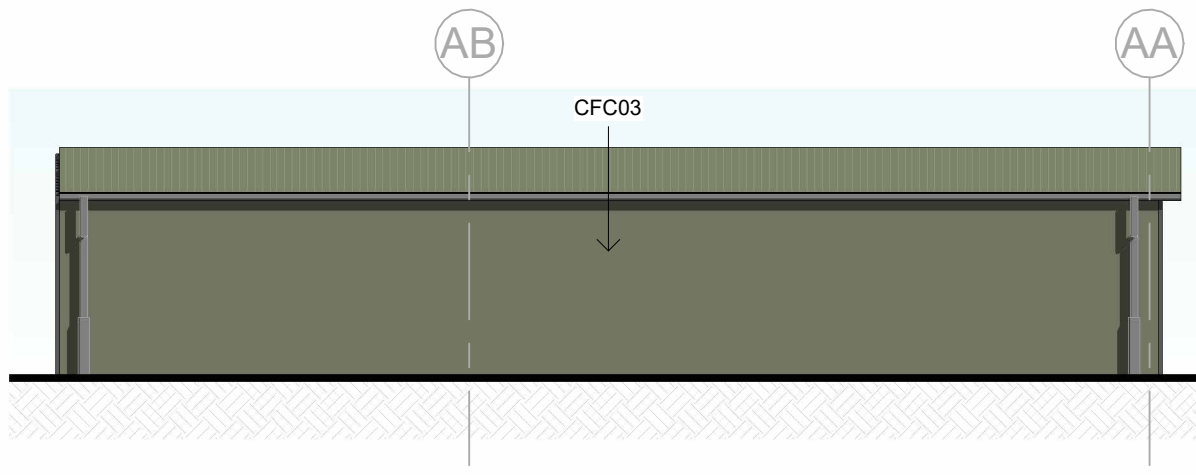
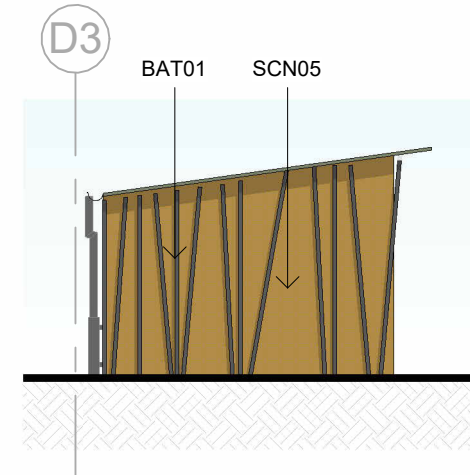
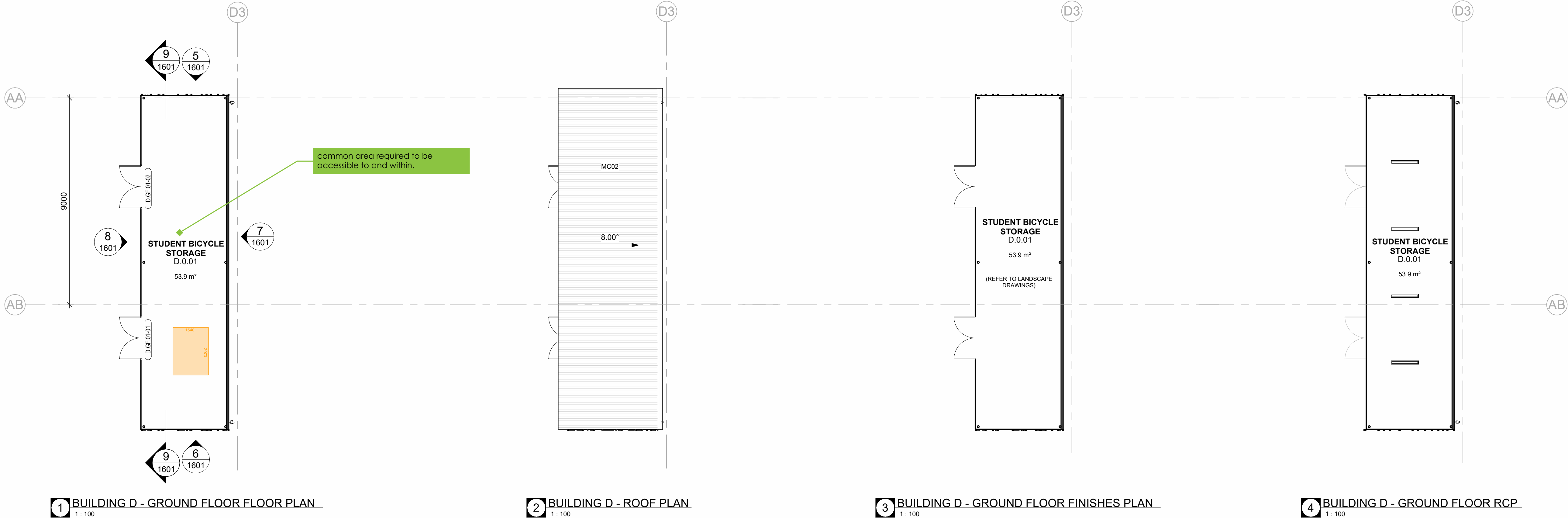
Drawing Reference

MPHS-NBRS-B00C-GF-DR-A-1600

Revision

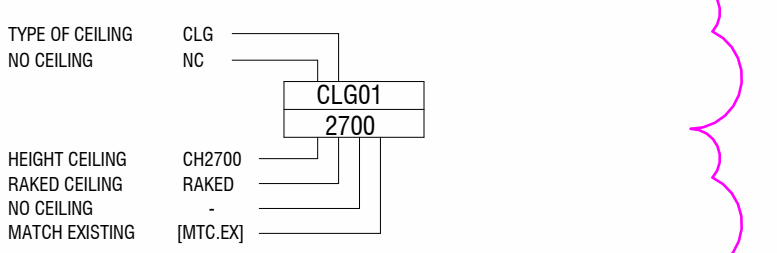
5





SYMBOL LEGEND

CEILING TAG



CEILING TYPE

CLG00: EXPOSED CONCRETE - CLASS 2 FINISH

CLG01: SUSPENDED CEILING - STANDARD FLUSH PLASTERBOARD

CLG02: SUSPENDED CEILING - STANDARD WATER RESISTANT FLUSH PLASTERBOARD

CLG03: SUSPENDED CEILING - ACOUSTIC PERFORATED PLASTERBOARD

CLG04: SUSPENDED CEILING - FIRE RATED PLASTERBOARD 60/60/60

CLG05: SUSPENDED CEILING - FIRE RATED PLASTERBOARD 120/120/120

CLG06: SUSPENDED CEILING - FIRE RATED WATER RESISTANT PLASTERBOARD 120/120/120

CLG10: SUSPENDED CEILING - CEILING TILE 1200 x 600

CLG11: ACOUSTIC CEILING - DIRECT STICK 12MM

CLG12: ACOUSTIC CEILING - DIRECT STICK 24MM

CLG21: EXTERNAL FC CEILING

CLG22: EXTERNAL PERFORATED FC CEILING

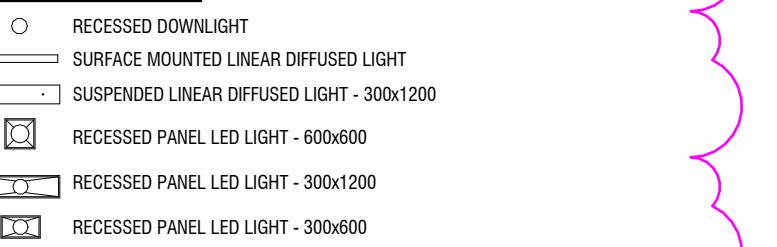
CLG23: EXTERNAL FEATURE CEILING

CLG31: INTERNAL FEATURE ACOUSTIC PANEL

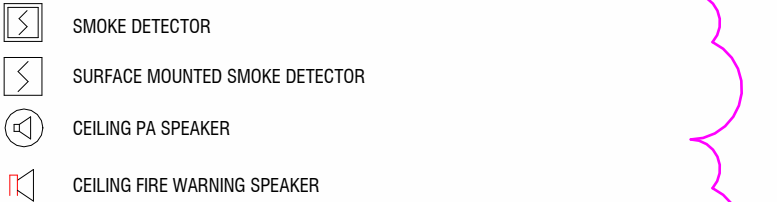
MECHANICAL



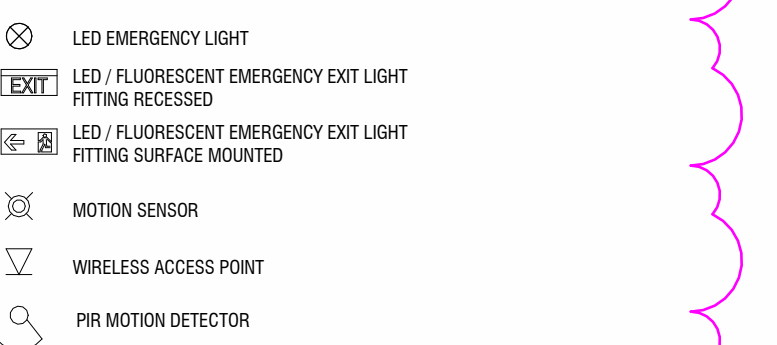
LIGHT FITTINGS



FIRE DETECTION & WARNING SYSTEM

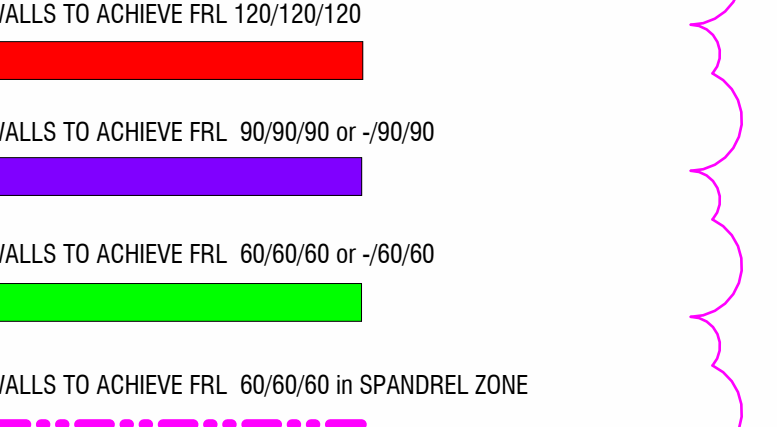


EMERGENCY & EXIT LIGHTING



NOTE: WAP - WIRELESS ACCESS POINT PROVIDED TO EVERY ROOM UNLESS NOTED OTHERWISE.

FIRE PROTECTION & WALLS PERFORMANCE



GENERAL NOTES

READ THESE DRAWINGS IN CONJUNCTION WITH ALL ARCHITECTURAL DRAWINGS AND OTHER CONSULTANTS DRAWINGS AND SPECIFICATIONS AND WITH SUCH OTHER WRITTEN INSTRUCTIONS AS ISSUED DURING THE COURSE OF CONTRACT. REFER ANY DISCREPANCIES TO THE ARCHITECT FOR DECISION BEFORE PROCEEDING WITH THE WORK.

DO NOT SCALE FROM THE DRAWINGS. UNLESS NOTED OTHERWISE ALL DIMENSIONS ARE IN MILLIMETERS.

STRUCTURE SHOWN FOR SETOUT AND COORDINATION ONLY. REFER STRUCTURAL ENGINEERS DRAWINGS FOR SIZES AND CONNECTION DETAILS.

REFER TO SERVICES CONSULTANT'S DRAWINGS FOR SERVICES EQUIPMENT, LOCATIONS AND REQUIREMENTS. SIZES SHOWN FOR SET OUT & COORDINATION ONLY. REPORT ANY DISCREPANCIES TO THE DESIGNER.

ALLOW TO PROVIDE INSULATION IN ACCORDANCE WITH SECTION J REQUIREMENTS.

WALLS WITH REQUIRED FRR TO EXTEND FULLY TO THE U/S OF ROOF OR TO U/S OF CONDITIONAL SPACE ABOVE. SEAL ALL JUNCTIONS, FIRE STOP / SEAL ALL PENETRATIONS TO MAINTAIN REQUIRED FRR.

WALLS WITH THERMAL INSULATION ARE REQUIRED TO EXTEND TO THE U/S OF ROOF OR TO U/S OF A CONDITIONAL SPACE ABOVE.

ARRANGE FOR PROVISION OF ADDITIONAL STUD AND NOGGINGS IN WALLS BEHIND JOINERY AND MOUNTED FFE ITEMS. ALLOW TO CO-ORDINATE SERVICES REQUIRED FOR LOOSE AND FIXED FFE ITEMS.

REFER TO FINISHES SCHEDULES AND ROOM LAYOUT SHEETS FOR ALL FINISHES AND COLOURS INCLUDING ADDITIONAL APPLIED FINISHES TO INTERNAL WALLS, CEILINGS, SANITARY FITTINGS & ALL ARCHITECTURAL JOINERY, HARDWARE & FIXTURE PROPRIETARY SELECTIONS.

ENSURE THAT SUFFICIENT TOLERANCES ARE PROVIDED AND INTEGRATED THROUGHOUT ALL ELEMENTS OF THE WORKS. ACCESSIBLE AMENITIES TO COMPLY WITH AS1428.1 2009 DESIGN FOR ACCESS AND MOBILITY.

SCHEMATIC WIP

Issue No.	Date	Description	Chkd
2	2024.11.25	For Coordination	TP
T1	2024.11.15	Issue For Tender	TP
1	2024.11.07	For Coordination	TP

Changes to this Revision

Drawing Title  
BUILDING D

Project  
24133 - MELROSE PARK HS

at  
84 Wharf Road, Melrose Park, NSW 2114



NBRS

+61 2 9922 2344 nbrs.com.au

Nominated Architects:  
Jonathan West NSW 9899  
NBRS & Partners Pty Ltd VIC 51197  
Any form of replication of this drawing in full or in part without the written permission of NBRS+PARTNERS Pty Ltd constitutes an infringement of the copyright.  
© 2023

Date 25/11/2024 6:22:10 PM

Scale 1:100 @ A1

NBRS Project # MPHS

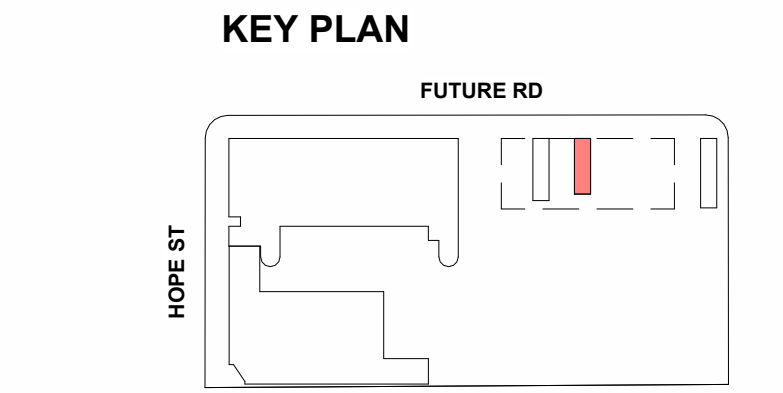
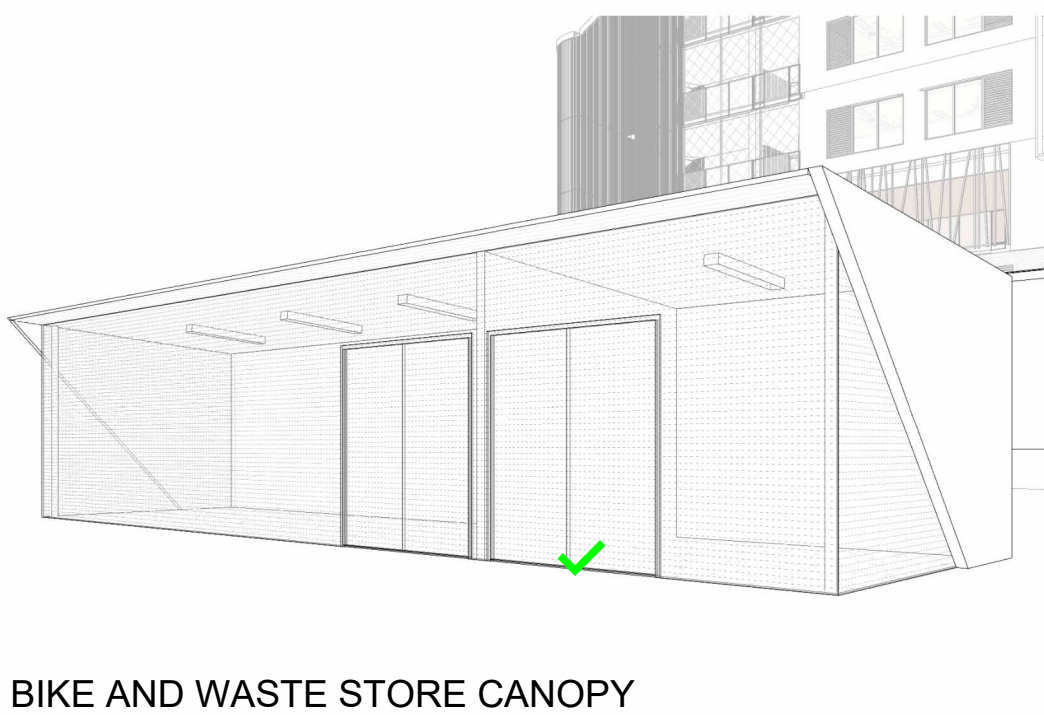
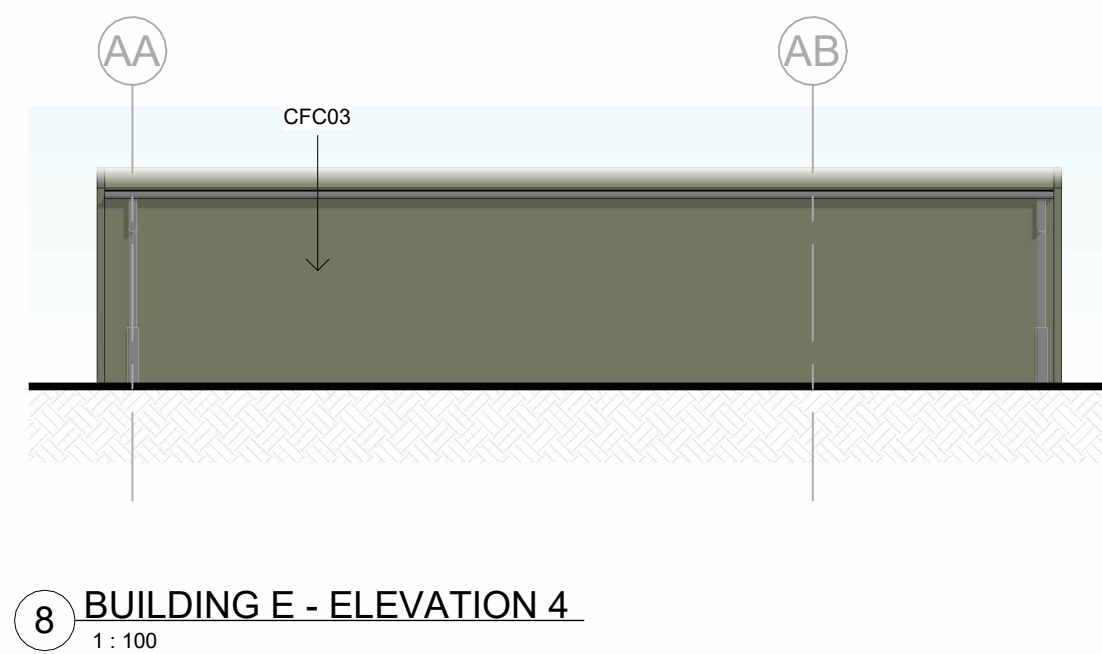
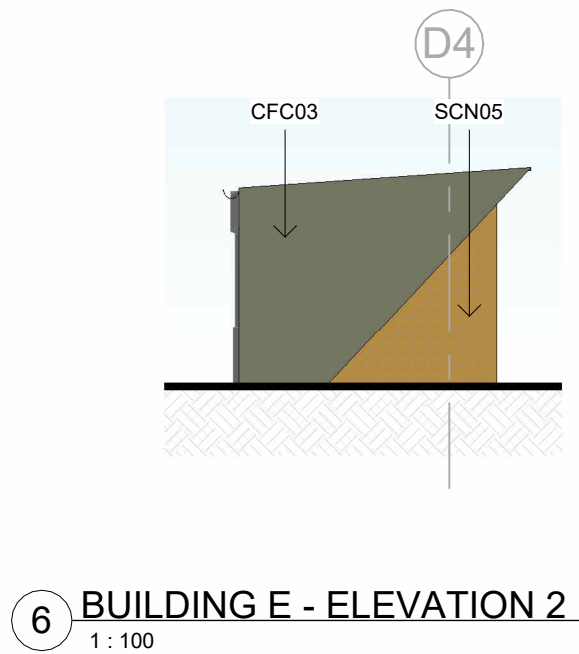
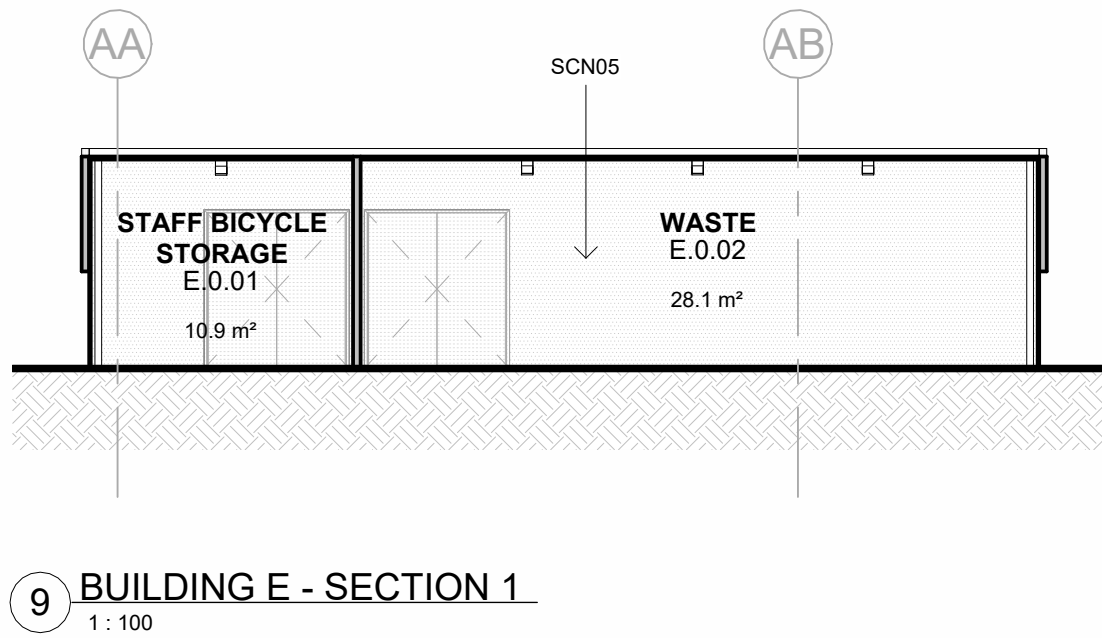
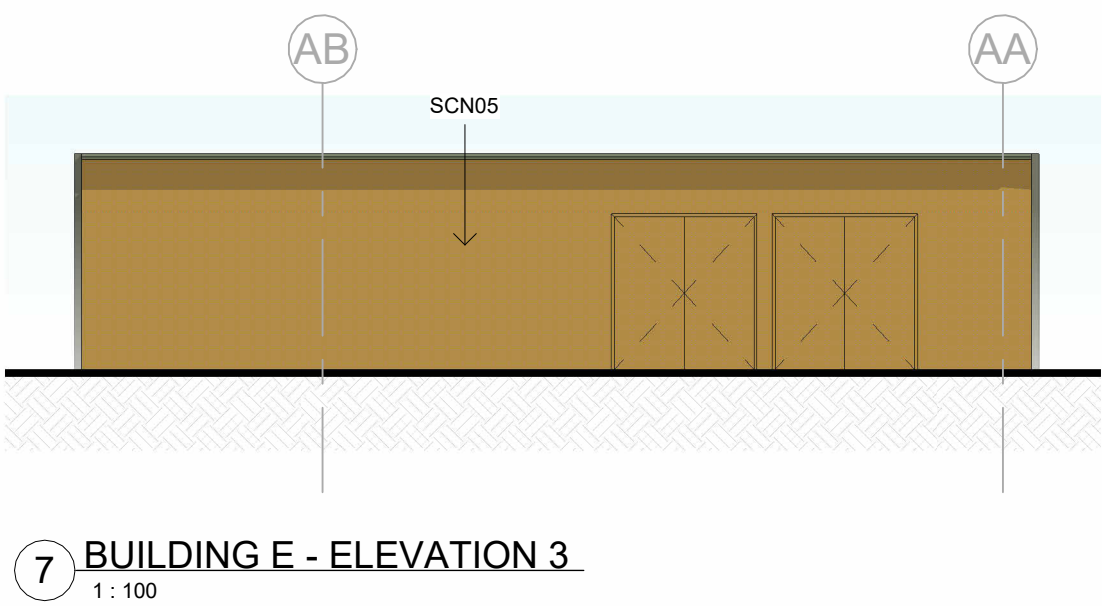
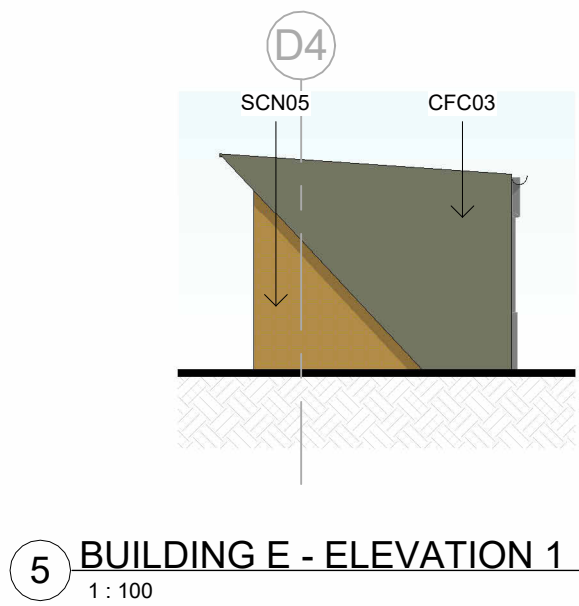
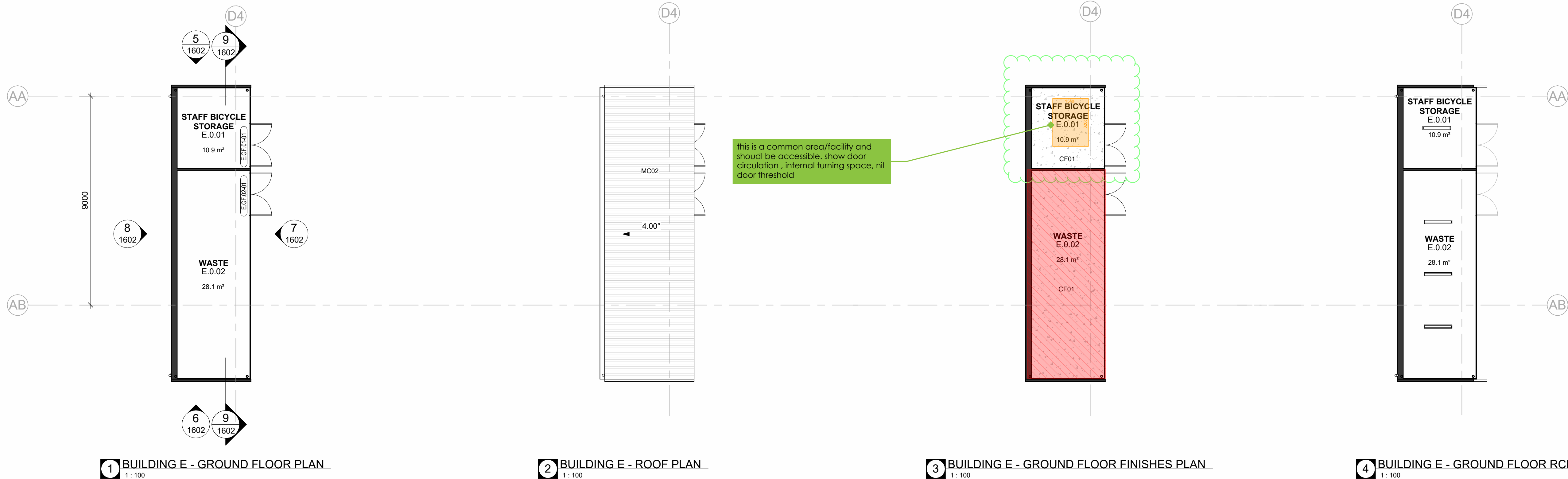
Drawing Reference

MPHS-NBRS-B00C-GF-DR-A-1601

Revision

2





SYMBOL LEGEND

NOTE: REFER TO SERVICES ENGINEERS DRAWINGS FOR DETAILED INFORMATION. SYMBOLS DRAWN ARE REPRESENTATIONAL ONLY.

CEILING TAG

TYPE OF CEILING	CLG
NO CEILING	NC
HEIGHT CEILING	CH2700
RAISED CEILING	RAISED
NO CEILING	NO CEILING
MATCH EXISTING	[MTC EX]

CEILING TYPE

CLG00:	EXPOSED CONCRETE - CLASS 2 FINISH
CLG01:	SUSPENDED CEILING - STANDARD FLUSH PLASTERBOARD
CLG02:	SUSPENDED CEILING - STANDARD WATER RESISTANT FLUSH PLASTERBOARD
CLG03:	SUSPENDED CEILING - ACOUSTIC PERFORATED PLASTERBOARD
CLG04:	SUSPENDED CEILING - FIRE RATED PLASTERBOARD 60/60/60
CLG05:	SUSPENDED CEILING - FIRE RATED PLASTERBOARD 120/120/120
CLG06:	SUSPENDED CEILING - FIRE RATED WATER RESISTANT PLASTERBOARD 120/120/120
CLG10:	SUSPENDED CEILING - CEILING TILE 1200 x 600
CLG11.1:	ACOUSTIC CEILING - DIRECT STICK 12MM
CLG11.2:	ACOUSTIC CEILING - DIRECT STICK 24MM
CLG12:	ACOUSTIC CEILING - WOOD & METAL WORKSHOP
CLG21:	EXTERNAL FC CEILING
CLG22:	EXTERNAL PERFORATED FC CEILING
CLG23:	EXTERNAL FEATURE CEILING
CLG31:	INTERNAL FEATURE ACOUSTIC PANEL

MECHANICAL

A/C CASSETTE	CLG01
SUPPLY AIR SWIRL - 350 DIA 600 X 600	CLG01
SUPPLY AIR SWIRL - 450 DIA 600 X 600	CLG01
KITCHEN EXHAUST GRILLE	CLG01
TOILET EXHAUST GRILLE	CLG01
RETURN AIR GRILLE	CLG01
ACCESS PANEL	CLG01
ELECTRIC RADIANT HEATER	CLG01
CEILING MOUNTED FAN	CLG01
SURFACE MOUNTED FAN	CLG01

LIGHT FITTINGS

RECESSED DOWNLIGHT	CLG01
SURFACE MOUNTED LINEAR DIFFUSED LIGHT	CLG01
SUSPENDED LINEAR DIFFUSED LIGHT - 300x1200	CLG01
RECESSED PANEL LED LIGHT - 600x600	CLG01
RECESSED PANEL LED LIGHT - 300x1200	CLG01
RECESSED PANEL LED LIGHT - 300x600	CLG01

FIRE DETECTION & WARNING SYSTEM

SMOKE DETECTOR	CLG01
SURFACE MOUNTED SMOKE DETECTOR	CLG01
CEILING PA SPEAKER	CLG01
CEILING FIRE WARNING SPEAKER	CLG01

EMERGENCY & EXIT LIGHTING

LED EMERGENCY LIGHT	CLG01
LED / FLUORESCENT EMERGENCY EXIT LIGHT FITTING RECESSED	CLG01
LED / FLUORESCENT EMERGENCY EXIT LIGHT FITTING SURFACE MOUNTED	CLG01
MOTION SENSOR	CLG01
WIRELESS ACCESS POINT	CLG01
PR MOTION DETECTOR	CLG01

NOTE: WAP - WIRELESS ACCESS POINT PROVIDED TO EVERY ROOM UNLESS NOTED OTHERWISE.

#### GENERAL NOTES

READ THESE DRAWINGS IN CONJUNCTION WITH ALL ARCHITECTURAL DRAWINGS AND OTHER CONSULTANTS DRAWINGS AND SPECIFICATIONS AND WITH SUCH OTHER WRITTEN INSTRUCTIONS AS ISSUED DURING THE COURSE OF CONTRACT. REFER ANY DISCREPANCIES TO THE ARCHITECT FOR DECISION BEFORE PROCEEDING WITH THE WORK.

DO NOT SCALE FROM THE DRAWINGS. UNLESS NOTED OTHERWISE ALL DIMENSIONS ARE IN MILLIMETERS.

STRUCTURE SHOWN FOR SETOUT AND COORDINATION ONLY. REFER STRUCTURAL ENGINEERS DRAWINGS FOR SIZES AND CONNECTION DETAILS.

REFER TO SERVICES CONSULTANT'S DRAWINGS FOR SERVICES EQUIPMENT, LOCATIONS AND REQUIREMENTS. SIZES SHOWN FOR SET OUT & COORDINATION ONLY. REPORT ANY DISCREPANCIES TO THE DESIGNER.

ALLOW TO PROVIDE INSULATION IN ACCORDANCE WITH SECTION J REQUIREMENTS.

WALLS WITH REQUIRED FRR TO EXTEND FULLY TO THE U/S OF ROOF OR TO U/S OF CONDITIONAL SPACE ABOVE. SEAL ALL JUNCTIONS. FIRE STOP / SEAL ALL PENETRATIONS TO MAINTAIN REQUIRED FRR.

WALLS WITH THERMAL INSULATION ARE REQUIRED TO EXTEND TO THE U/S OF ROOF OR TO U/S OF A CONDITIONAL SPACE ABOVE.

ARRANGE FOR PROVISION OF ADDITIONAL STUD AND NOGGINGS IN WALLS BEHIND JOINERY AND MOUNTED FFE ITEMS. ALLOW TO CO-ORDINATE SERVICES REQUIRED FOR LOOSE AND FIXED FFE ITEMS.

REFER TO FINISHES SCHEDULES AND ROOM LAYOUT SHEETS FOR ALL FINISHES AND COLOURS INCLUDING ADDITIONAL APPLIED FINISHES TO INTERNAL WALLS, CEILINGS, SANITARY FITTINGS & ALL ARCHITECTURAL JOINERY, HARDWARE & FIXTURE PROPRIETARY SELECTIONS.

ENSURE THAT SUFFICIENT TOLERANCES ARE PROVIDED AND INTEGRATED THROUGHOUT ALL ELEMENTS OF THE WORKS. ACCESSIBLE AMENITIES TO COMPLY WITH AS1428.1 2009 DESIGN FOR ACCESS AND MOBILITY.

#### FIRE PROTECTION & WALLS PERFORMANCE

WALLS TO ACHIEVE FRL 120/120/120

WALLS TO ACHIEVE FRL 90/90/90 or -/90/90

WALLS TO ACHIEVE FRL 60/60/60 or -/60/60

WALLS TO ACHIEVE FRL 60/60/60 in SPANDREL ZONE

SCHEMATIC WIP

Issue No.	Date	Description	Chkd
2	2024.11.25	For Coordination	TP
T1	2024.11.15	Issue For Tender	TP
1	2024.11.07	For Coordination	TP

Changes to this Revision

Drawing Title  
BUILDING E

Project  
24133 - MELROSE PARK HS

at  
84 Wharf Road, Melrose Park, NSW 2114



NBRS

+61 2 9922 2344 nbrs.com.au

Nominated Architects:  
Jonathan West NSW 9899  
NBRS & Partners Pty Ltd VIC 51197  
Any form of replication of this drawing in full or in part without the written permission of NBRS+PARTNERS Pty Ltd constitutes an infringement of the copyright.  
© 2023

Date 25/11/2024 6:22:15 PM

Scale 1 : 100 @ A1

NBRS Project # MPHS

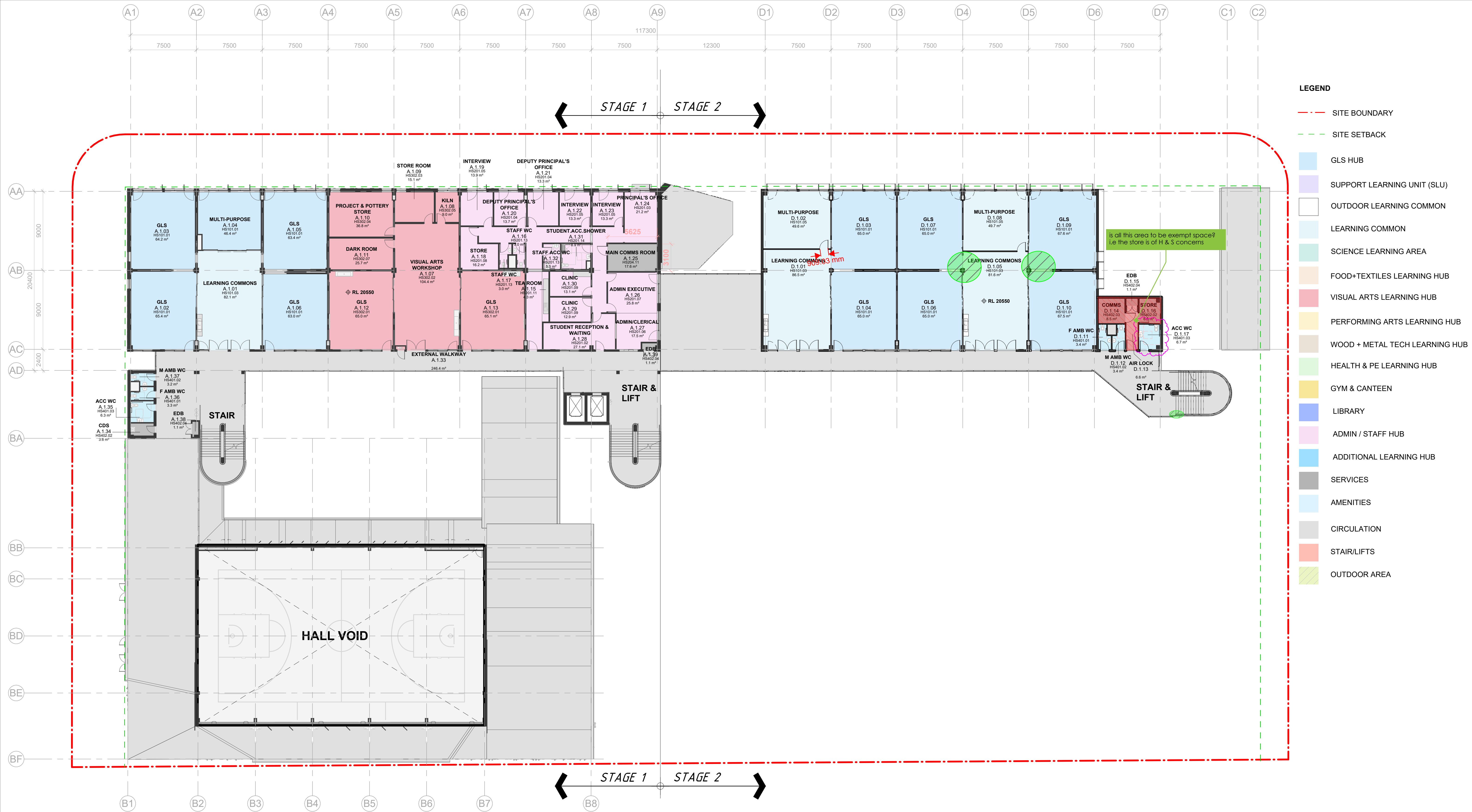
Drawing Reference

MPHS-NBRS-B00C-GF-DR-A-1602

Revision

2





1 LEVEL 1 PLAN (STAGE 2)  
1 : 200

Issue No.	Date	Description	Chkd
14	2024.11.25	For Coordination	TP
11	2024.11.15	Tender Issue	TP
13	2024.11.07	For Coordination	TP
12	2024.11.01	For Coordination	TP
11	2024.10.21	For Coordination	TP
10	2024.10.10	For Coordination	TP
9	2024.10.04	For Coordination	TP
8	2024.09.25	Concept Design Issue	TP
7	2024.09.20	For Coordination	TP

Changes to this Revision

Drawing Title  
OVERALL LEVEL 1 PLAN (STAGE 2)

Project  
24133 - MELROSE PARK HS  
at  
84 Wharf Road, Melrose Park, NSW 2114



NBRS

+61 2 9922 2344  
nbrs.com.au  
Nominated Architects:  
Andrew Duffin NSW 5602  
Jonathan West NSW 9899  
NBRS & Partners Pty Ltd VIC 51197  
ABN 16 002 247 565  
Any form of replication of this drawing in full or in part without the written permission of NBRS+PARTNERS Pty Ltd constitutes an infringement of the copyright.  
© 2024

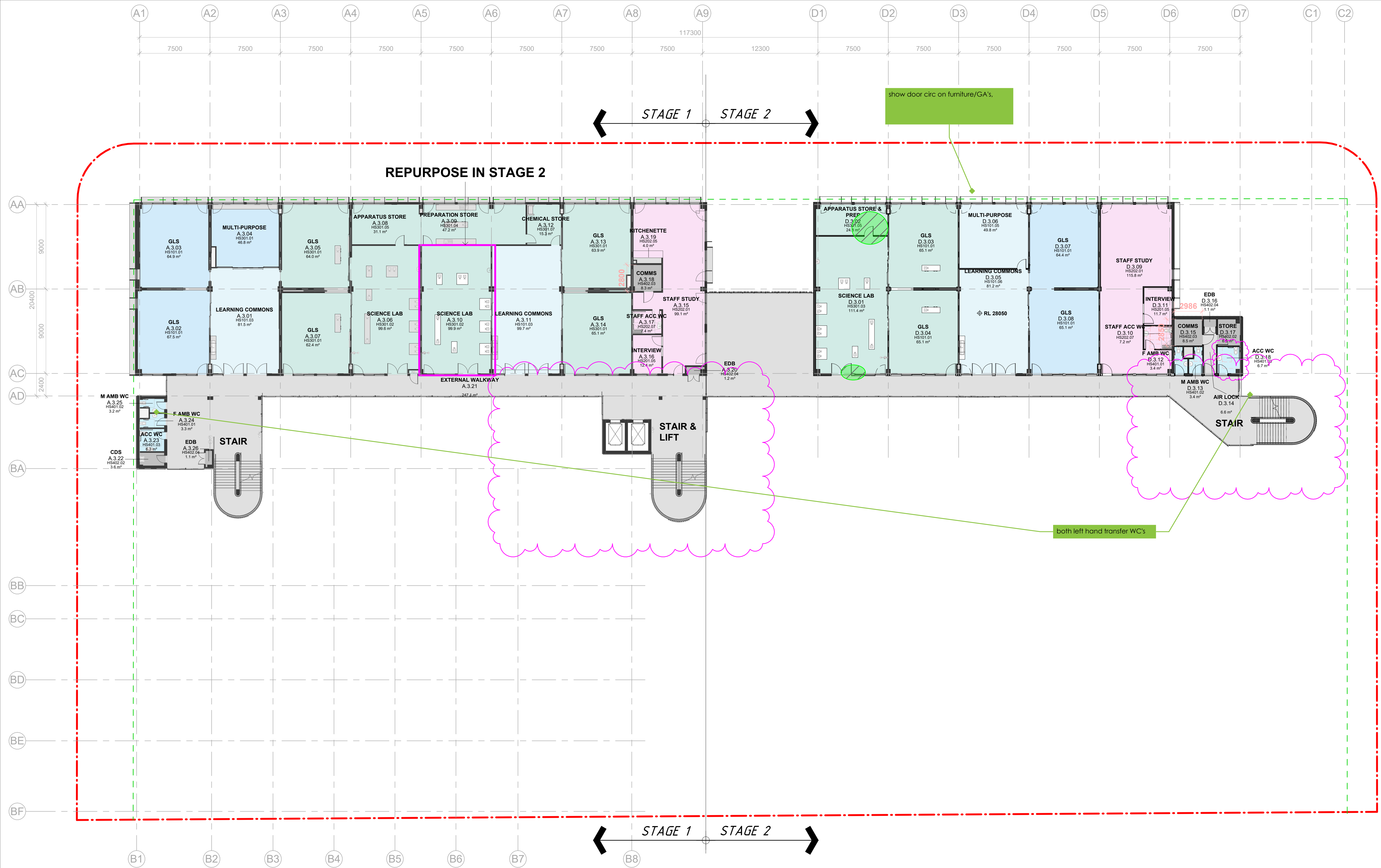
Date 25/11/2024 7:34:57 PM  
Scale 1:200 @ A1  
NBRS Project # 24133

Drawing Reference  
MPHS-NBRS-L1-ZZ-DR-A-0212  
Revision  
14

SCHEMATIC WIP







- LEGEND**
- SITE BOUNDARY
  - SITE SETBACK
  - GLS HUB
  - SUPPORT LEARNING UNIT (SLU)
  - OUTDOOR LEARNING COMMON
  - LEARNING COMMON
  - SCIENCE LEARNING AREA
  - FOOD+TEXTILES LEARNING HUB
  - VISUAL ARTS LEARNING HUB
  - PERFORMING ARTS LEARNING HUB
  - WOOD + METAL TECH LEARNING HUB
  - HEALTH & PE LEARNING HUB
  - GYM & CANTEEN
  - LIBRARY
  - ADMIN / STAFF HUB
  - ADDITIONAL LEARNING HUB
  - SERVICES
  - AMENITIES
  - CIRCULATION
  - STAIR/LIFTS
  - OUTDOOR AREA

**1 LEVEL 3 PLAN (STAGE 2)**  
1 : 200

Issue No.	Date	Description	Chkd
14	2024.11.25	For Coordination	TP
11	2024.11.15	Tender Issue	TP
13	2024.11.07	For Coordination	TP
12	2024.11.01	For Coordination	TP
11	2024.10.21	For Coordination	TP
10	2024.10.10	For Coordination	TP
9	2024.10.04	For Coordination	TP
8	2024.09.25	Concept Design Issue	TP
7	2024.09.20	For Coordination	TP

Changes to this Revision

Drawing Title  
OVERALL LEVEL 3 PLAN (STAGE 2)

Project  
24133 - MELROSE PARK HS  
at  
84 Wharf Road, Melrose Park, NSW 2114



**NBRS**  
+61 2 9922 2344  
nbrs.com.au  
Nominated Architects:  
Andrew Duffin NSW 5602  
Jonathan West NSW 9899  
NBRS & Partners Pty Ltd VIC 51197  
Any form of replication of this drawing in full or in part without the written permission of NBRS+PARTNERS Pty Ltd constitutes an infringement of the copyright.

nbrs.com.au

Date 25/11/2024 7:35:08 PM  
Scale 1:200 @ A1  
NBRS Project # 24133

Drawing Reference  
MPHS-NBRS-L3-ZZ-DR-A-0214  
Revision  
14

**SCHEMATIC WIP**



1 LEVEL 4 PLAN (STAGE 2)  
1 : 200

Issue No.	Date	Description	Chkd
15	2024.11.25	For Coordination	TP
11	2024.11.15	Tender Issue	TP
14	2024.11.07	For Coordination	TP
13	2024.11.01	For Coordination	TP
12	2024.10.22	For Coordination	TP
11	2024.10.21	For Coordination	TP
10	2024.10.10	For Coordination	TP
9	2024.10.04	For Coordination	TP
8	2024.09.25	Concept Design Issue	TP

Changes to this Revision

Drawing Title  
OVERALL LEVEL 4 PLAN (STAGE 2)

Project  
24133 - MELROSE PARK HS  
at  
84 Wharf Road, Melrose Park, NSW 2114



NBRS

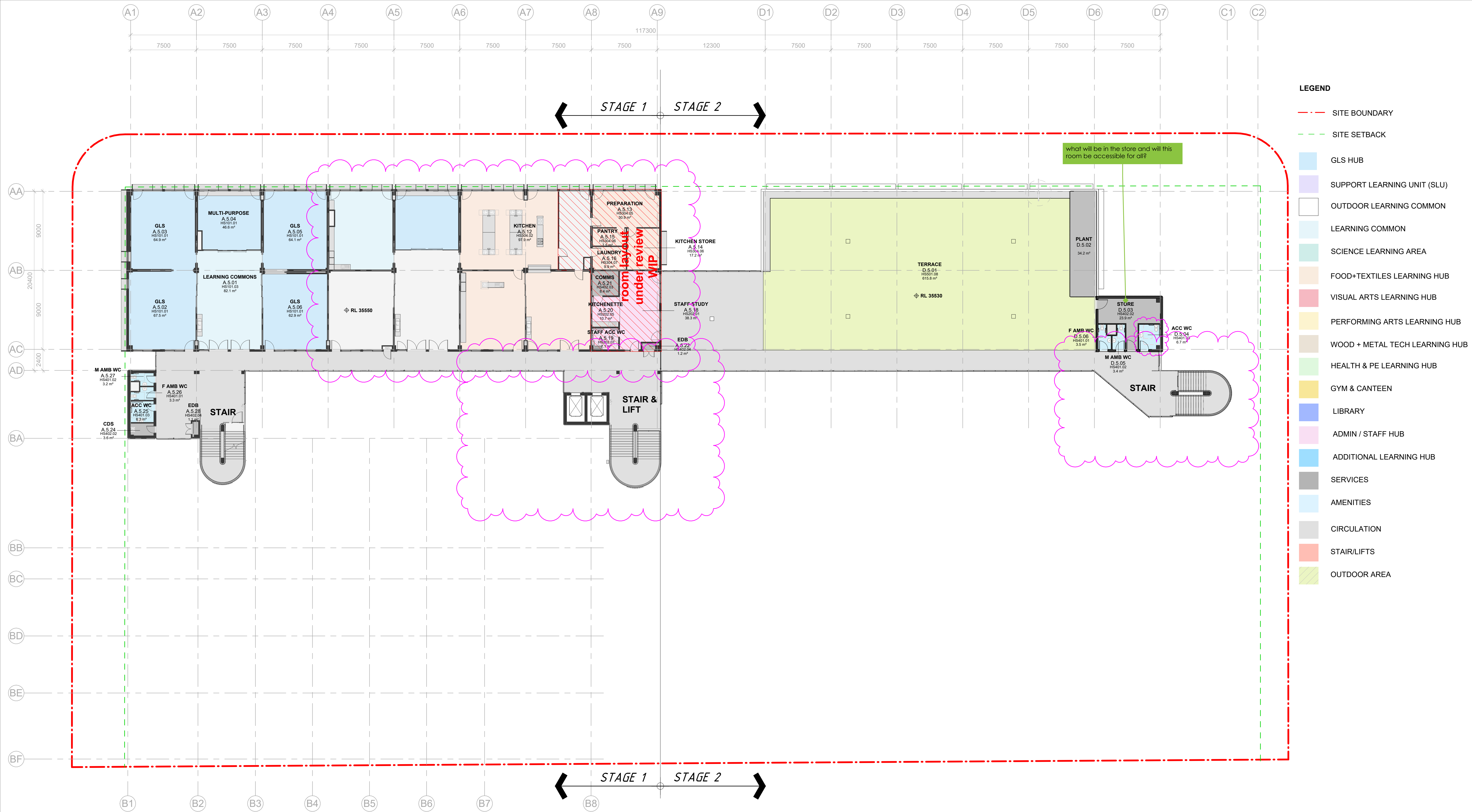
+61 2 9922 2344  
nbrs.com.au  
Nominated Architects:  
Andrew Duffin NSW 5602  
Jonathan West NSW 9899  
NBRS & Partners Pty Ltd VIC 51197  
Any form of replication of this drawing in full or in part without the written permission of NBRS+PARTNERS Pty Ltd constitutes an infringement of the copyright.  
ABN 16 002 247 565  
© 2024

Date 25/11/2024 7:35:12 PM  
Scale 1:200 @ A1  
NBRS Project # 24133

Drawing Reference  
MPHS-NBRS-L4-ZZ-DR-A-0215  
Revision  
15

SCHEMATIC WIP





LEGEND

- SITE BOUNDARY
- SITE SETBACK
- GLS HUB
- SUPPORT LEARNING UNIT (SLU)
- OUTDOOR LEARNING COMMON
- LEARNING COMMON
- SCIENCE LEARNING AREA
- FOOD+TEXTILES LEARNING HUB
- VISUAL ARTS LEARNING HUB
- PERFORMING ARTS LEARNING HUB
- WOOD + METAL TECH LEARNING HUB
- HEALTH & PE LEARNING HUB
- GYM & CANTEEN
- LIBRARY
- ADMIN / STAFF HUB
- ADDITIONAL LEARNING HUB
- SERVICES
- AMENITIES
- CIRCULATION
- STAIR/LIFTS
- OUTDOOR AREA

1 LEVEL 5 PLAN (STAGE 2)

1 : 200

Issue No.	Date	Description	Chkd
14	2024.11.25	For Coordination	TP
11	2024.11.15	Tender Issue	TP
13	2024.11.07	For Coordination	TP
12	2024.11.01	For Coordination	TP
11	2024.10.21	For Coordination	TP
10	2024.10.10	For Coordination	TP
9	2024.10.04	For Coordination	TP
8	2024.09.25	Concept Design Issue	TP
7	2024.09.20	For Coordination	TP

Changes to this Revision

Drawing Title  
OVERALL LEVEL 5 PLAN (STAGE 2)

Project  
24133 - MELROSE PARK HS  
at  
84 Wharf Road, Melrose Park, NSW 2114



NBRS

+61 2 9922 2344  
nbrs.com.au  
Nominated Architects:  
Andrew Duffin NSW 5602  
Jonathan West NSW 9899  
NBRS & Partners Pty Ltd VIC 51197  
Any form of replication of this drawing in full or in part without the written permission of NBRS+PARTNERS Pty Ltd constitutes an infringement of the copyright.  
ABN 16 002 247 565  
© 2024

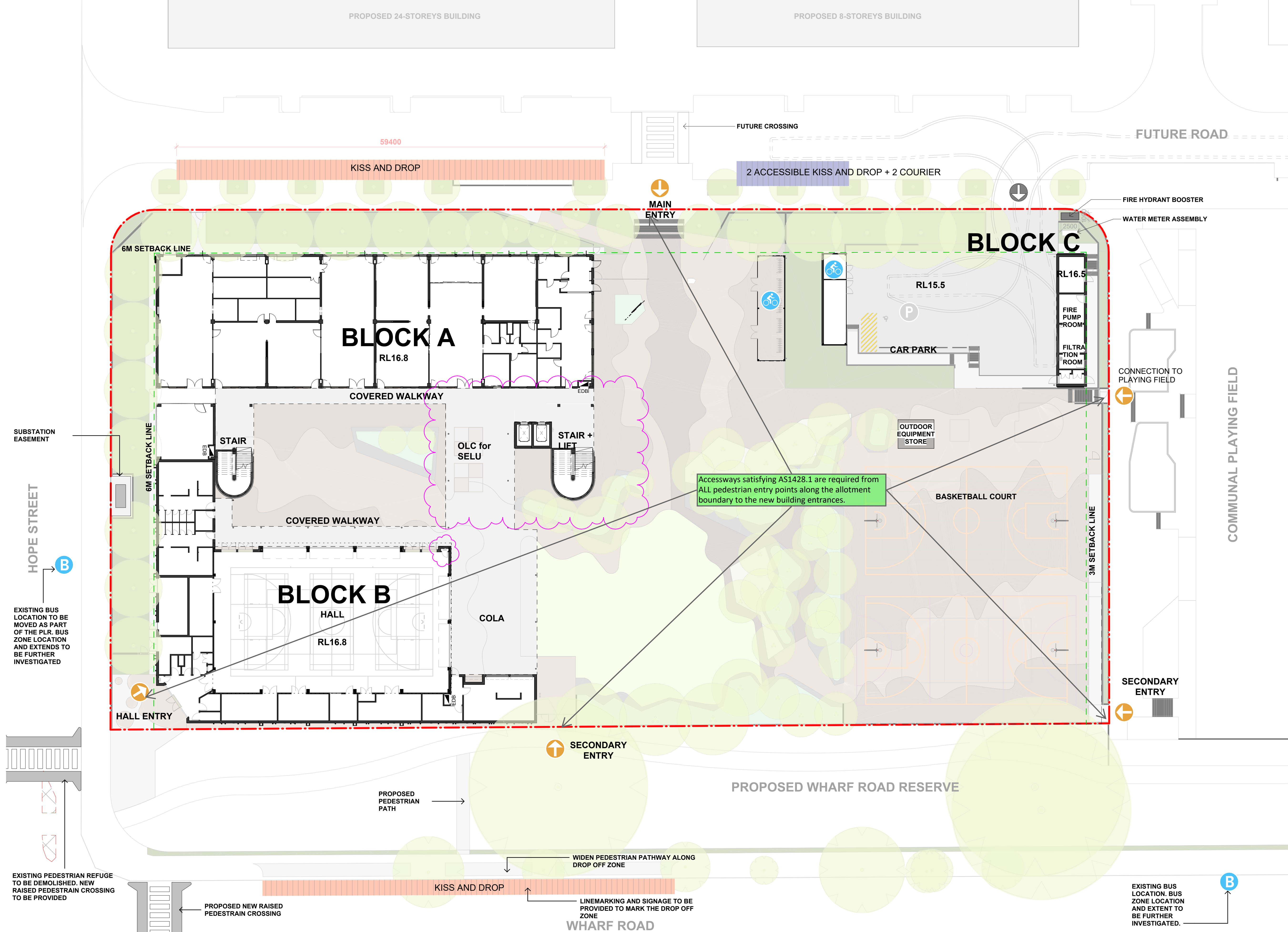
Date 25/11/2024 7:35:17 PM  
Scale 1:200 @ A1  
NBRS Project # 24133

Drawing Reference  
MPHS-NBRS-L5-ZZ-DR-A-0216

Revision  
14

SCHEMATIC WIP





- PEDESTRIAN ACCESS
- VEHICLE ACCESS
- CAR PARKING
- BUS BAY
- BIKE PARKING
- CONNECTION
- KISS AND DROP
- ACCESSIBLE KISS AND DROP
- SITE BOUNDARY
- SITE SETBACK
- FENCE

1 SITE PLAN STAGE 1

Issue No.	Date	Description	Chkd	Changes to this Revision
14	2024.11.25	For Coordination	TP	
11	2024.11.15	Tender Issue	TP	
13	2024.11.07	For Coordination	TP	
12	2024.11.01	For Coordination	TP	
11	2024.10.21	For Coordination	TP	
10	2024.10.10	For Coordination	TP	
9	2024.10.04	For Coordination	TP	
8	2024.09.25	Concept Design Issue	TP	
7	2024.09.20	For Coordination	TP	

Drawing Title  
SITE PLAN (STAGE 1)

Project  
24133 - MELROSE PARK HS  
at  
84 Wharf Road, Melrose Park, NSW 2114

NBRS

+61 2 9922 2344  
Nominated Architects:  
Andrew Duffin NSW 5602  
Jonathan West NSW 9899  
NBRS & Partners Pty Ltd VIC 51197  
Any form of replication of this drawing in full or in part without the written permission of NBRS+PARTNERS Pty Ltd constitutes an infringement of the copyright.

nbrs.com.au

ABN 16 002 247 565

Date 25/11/2024 7:34:21 PM  
Scale 1:250 @ A1  
NBRS Project # 24133

Drawing Reference  
MPHS-NBRS-ZZ-ZZ-DR-A-0200

Revision  
14

SCHEMATIC WIP



1 SITE PLAN - STAGE 2

1 : 250

Issue No.	Date	Description	Chkd
14	2024.11.25	For Coordination	TP
11	2024.11.15	Tender Issue	TP
13	2024.11.07	For Coordination	TP
12	2024.11.01	For Coordination	TP
11	2024.10.21	For Coordination	TP
10	2024.10.10	For Coordination	TP
9	2024.10.04	For Coordination	TP
8	2024.09.25	Concept Design Issue	TP
7	2024.09.20	For Coordination	TP

Changes to this Revision

Drawing Title  
SITE PLAN (STAGE 2)

Project  
24133 - MELROSE PARK HS

at  
84 Wharf Road, Melrose Park, NSW 2114



**NBRS**

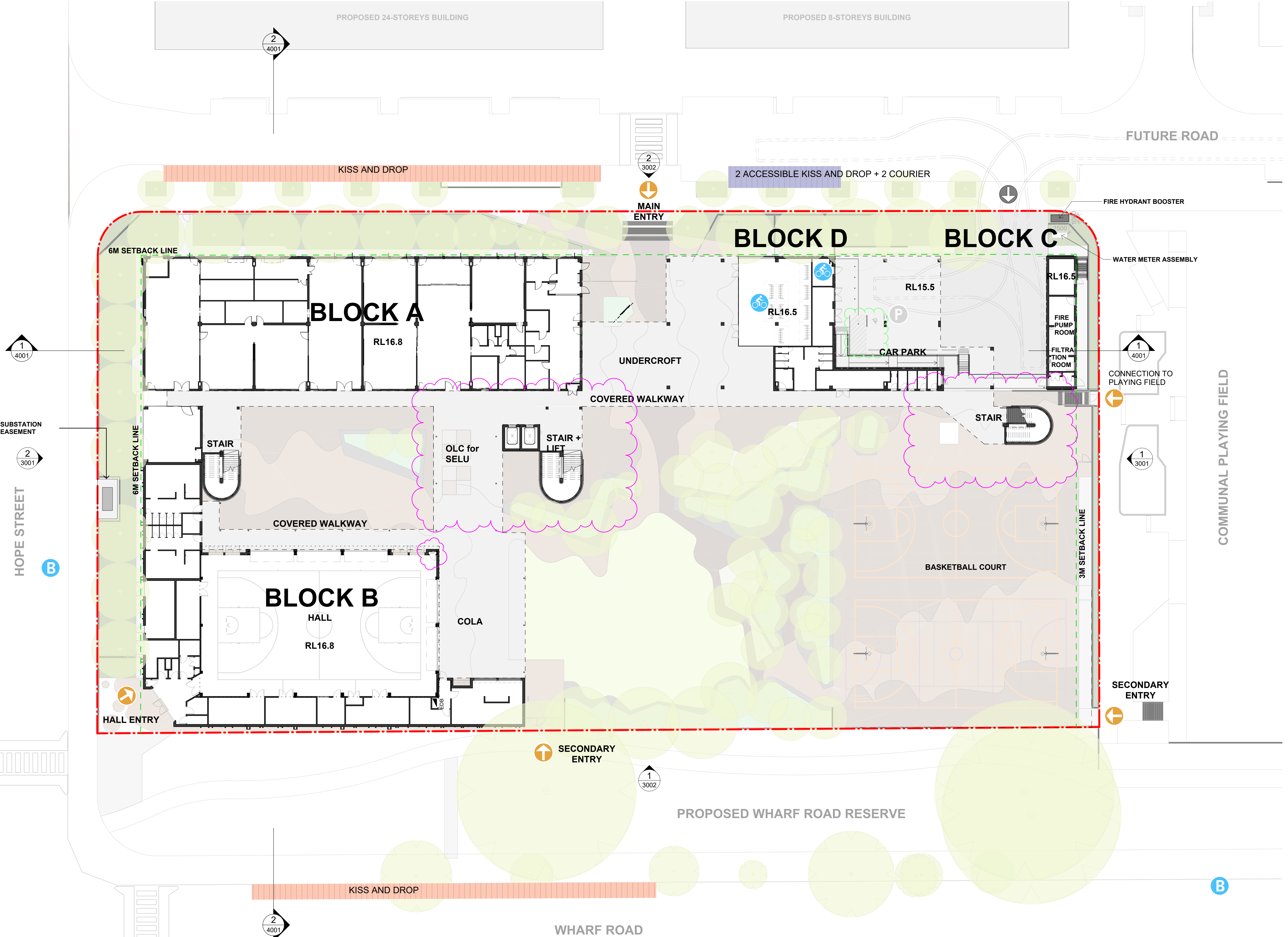
+61 2 9922 2344  
nbrs.com.au  
Nominated Architects:  
Andrew Duffin NSW 5602  
Jonathan West NSW 9899  
NBRS & Partners Pty Ltd VIC 51197  
Any form of replication of this drawing in full or in part without the written permission of NBRS+PARTNERS Pty Ltd constitutes an infringement of the copyright.  
ABN 16 002 247 565  
© 2024

Date 25/11/2024 7:34:28 PM  
Scale 1:250 @ A1  
NBRS Project # 24133

Drawing Reference  
MPHS-NBRS-ZZ-ZZ-DR-A-0201

Revision  
14

**SCHEMATIC WIP**

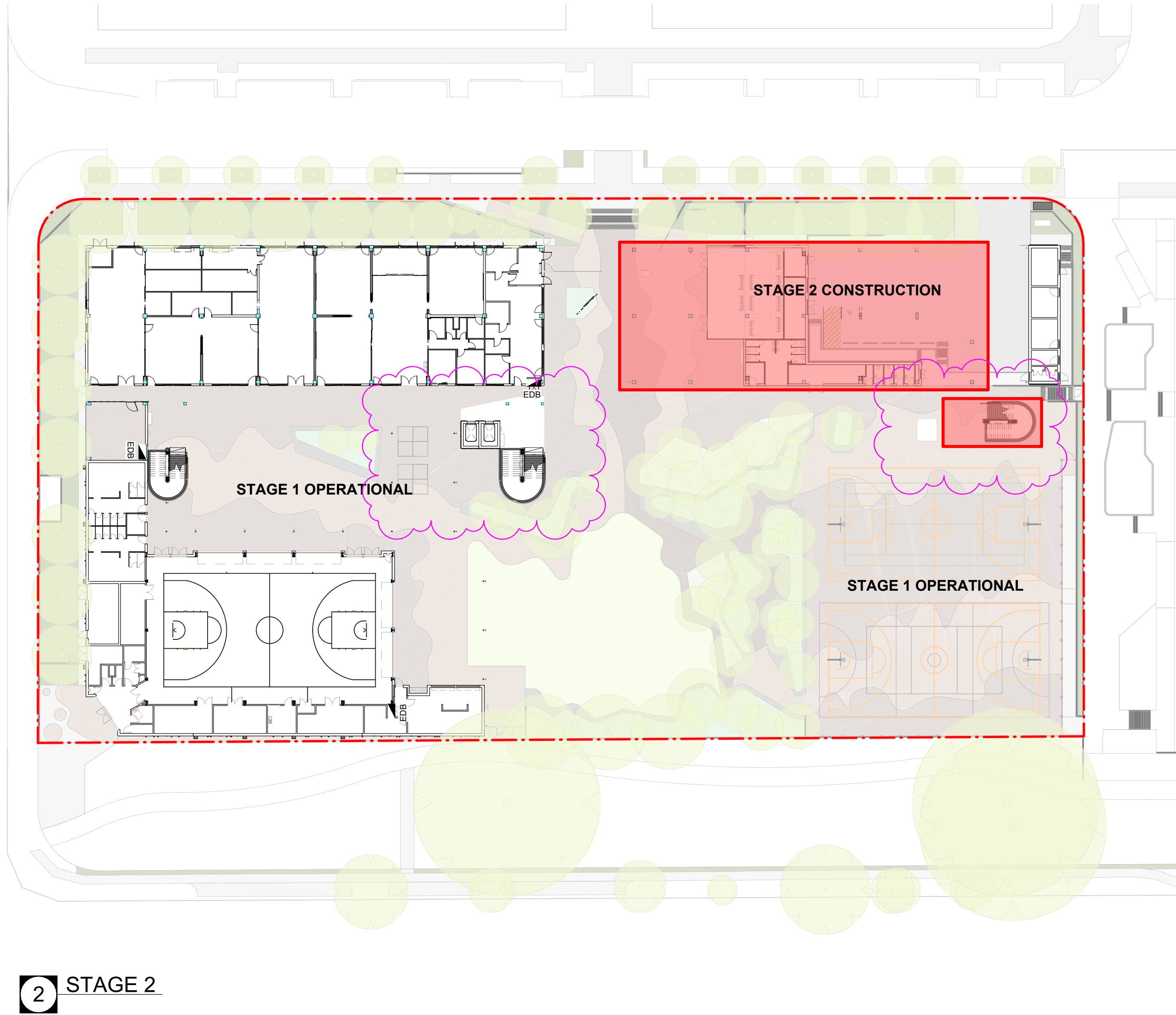
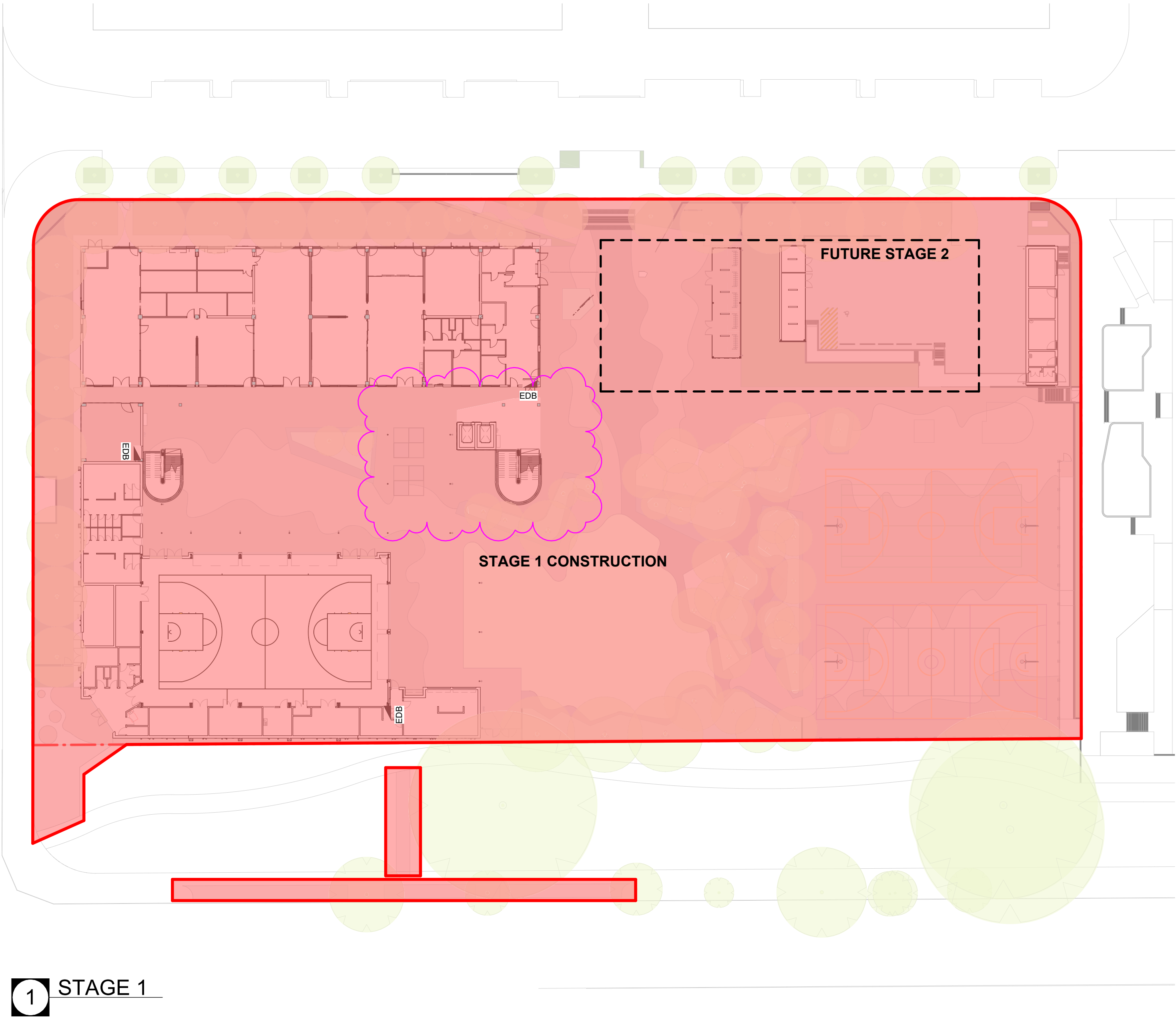


- PEDESTRIAN ACCESS
- VEHICLE ACCESS
- CAR PARKING
- BUS BAY
- BIKE PARKING
- CONNECTION
- KISS AND DROP
- ACCESSIBLE KISS AND DROP
- SITE BOUNDARY
- SITE SETBACK
- FENCE



LEGEND

EXTENT OF WORKS



Issue				Changes to this Revision
No.	Date	Description	Chkd	
1	2024.11.25	For Coordination	TP	
T1	2024.11.15	Tender Issue	TP	

Drawing Title  
STAGING PLAN

Project  
24133 - MELROSE PARK HS  
at  
84 Wharf Road, Melrose Park, NSW 2114



**NBRS**  
+61 2 9922 2344  
Nominated Architects:  
Andrew Duffin NSW 5602  
Jonathan West NSW 9899  
NBRS & Partners Pty Ltd VIC 51197  
Any form of replication of this drawing in full or in part without the written permission of NBRS+PARTNERS Pty Ltd constitutes an infringement of the copyright.  
© 2024

Date 25/11/2024 7:36:02 PM  
Scale 1:400 @ A1  
NBRS Project # 24133

Drawing Reference  
MPHS-NBRS-ZZ-ZZ-DR-A-0501

Revision  
1

SCHEMATIC WIP



**DC Partnership Pty Limited**

Suite 6 | 113 Reservoir Street, Surry Hills NSW 2010  
ABN: 72 896 582 485

T: 02 8399 3707  
E: [hello@dcpartnership.com.au](mailto:hello@dcpartnership.com.au)  
W: [www.dcpartnership.com.au](http://www.dcpartnership.com.au)

This document is and shall remain the property of DC Partnership. The technical and intellectual content contained herein may only be used for the purpose for which it was commissioned and in accordance with the Terms of Engagement for the commission.

Unauthorised use of this document in any form whatsoever is prohibited.